

## Agenda Item No 4

### Planning and Development Board

13 April 2015

### Planning Applications

#### Report of the Head of Development Control

#### 1 Subject

- 1.1 Town and Country Planning Act 1990 – applications presented for determination.

#### 2 Purpose of Report

- 2.1 This report presents for the Board decision, a number of planning, listed building, advertisement, proposals, together with proposals for the works to, or the felling of trees covered by a Preservation Order and other miscellaneous items.
- 2.2 Minerals and Waste applications are determined by the County Council. Developments by Government Bodies and Statutory Undertakers are also determined by others. The recommendations in these cases are consultation responses to those bodies.
- 2.3 The proposals presented for decision are set out in the index at the front of the attached report.
- 2.4 Significant Applications are presented first, followed in succession by General Development Applications; the Council's own development proposals; and finally Minerals and Waste Disposal Applications.

#### 3 Implications

- 3.1 Should there be any implications in respect of:

Finance; Crime and Disorder; Sustainability; Human Rights Act; or other relevant legislation, associated with a particular application then that issue will be covered either in the body of the report, or if raised at the meeting, in discussion.

#### 4 Site Visits

- 4.1 Members are encouraged to view sites in advance of the Board Meeting. Most can be seen from public land. They should however not enter private land. If they would like to see the plans whilst on site, then they should always contact the Case Officer who will accompany them. Formal site visits can only be agreed by the Board and reasons for the request for such a visit need to be given.
- 4.2 Members are reminded of the "Planning Protocol for Members and Officers dealing with Planning Matters", in respect of Site Visits, whether they see a site alone, or as part of a Board visit.

## 5 **Availability**

- 5.1 The report is made available to press and public at least five working days before the meeting is held in accordance with statutory requirements. It is also possible to view the papers on the Council's web site: [www.northwarks.gov.uk](http://www.northwarks.gov.uk).
- 5.2 The next meeting at which planning applications will be considered following this meeting, is due to be held on Monday 15 June 2015 at 6.30pm in the Council Chamber at the Council House.

## 6 **Public Speaking**

- 6.1 Information relating to public speaking at Planning and Development Board meetings can be found at: [www.northwarks.gov.uk/downloads/file/4037/](http://www.northwarks.gov.uk/downloads/file/4037/).
- 6.2 If you wish to speak at a meeting of the Planning and Development Board, you may either:
- e-mail [democraticservices@northwarks.gov.uk](mailto:democraticservices@northwarks.gov.uk);
  - telephone (01827) 719222; or
  - write to the Democratic Services Section, The Council House, South Street, Atherstone, Warwickshire, CV9 1DE enclosing a completed form.

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7	PAP/2015/0078	180	<b>Land West of M42, Bodymoor Heath Lane, Bodymoor Heath,</b> Change from private to commercial Equine Visitors Attraction. Expanding and re-locating Dunton Stables.	General
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9	PAP/2015/0188	207	<b>Block 8-19, Block 24-36, Block 37-48, Block 54-65, Arden Forest Estate, Ridge Lane,</b> Flat to pitched roof conversion on all 4 blocks & relocation of cold water tanks into the centre of roof void	General

## **General Development Applications**

### **(1) Application No: CON/2015/0001**

#### **Tamworth Municipal Golf Course, Eagle Drive, Amington, Tamworth, B77 4EG**

**Outline application for the demolition of clubhouse and construction of approximately 1100 houses, primary school, local centre, parking, comprehensive green infrastructure comprising community woodland, park, extension to local nature reserve, formal and informal open spaces, footpaths, cycle-ways, water areas (including enhancement to existing ponds and creating a sustainable urban drainage system), landscaping and vehicular access for**

#### **Tamworth Borough Council**

##### **Introduction**

The Council has been invited to make representations on this outline planning application for 1100 houses.

##### **The Site**

This is the site of the former Tamworth golf course which closed in October 2014. It lies on the east side of Tamworth about 2 kilometres outside of the Town Centre and its western boundary is the commercial and residential built up area of Amington. It is bounded by the Coventry Canal to the north; agricultural land to the east with the Priory Park Karting Circuit to the south. Its eastern boundary is that bounding the two Boroughs. The site amounts to some 60 hectares in total with an elongated shape - the former club house being more or less central to the site.

##### **The Proposals**

These are best illustrated by reference to the plan at Appendix A. It should be noted that all vehicular access would be to the west, towards Tamworth, and that a 20% provision is to be made for affordable housing provision.

##### **Impacts**

There are two planning policy impacts arising from the proposal which need to be assessed first.

The site abuts the NorthWarwickshire/Tamworth Borough boundary. There is no proposed development, either commercial or residential, in the area abutting the application site within North Warwickshire. Indeed this land is included in the draft consultation document recently published by the Council in respect of its definition of the "Meaningful Gap" between Tamworth and Polesworth/Dordon as referred to in Policy NW19 of the North Warwickshire Core Strategy 2014. As such it is considered that there should no planning policy impact as any planning permission granted for the proposal would not prejudice the Borough Council's declared position on its land immediately to the east of this site.

Secondly, as Members are aware the Borough Council has agreed to include up to 500 dwellings to meet Tamworth's housing needs up to 2029. This is set out in the 2014 Core Strategy – policy NW4. However given the latest figures promoted in the draft Tamworth Core Strategy, that number has been the subject of further discussion with Tamworth recommending that it is increased. From the Borough Council's perspective the greater the housing provision accommodated within Tamworth, the less likelihood there is that the number of houses to be found elsewhere will rise. As a consequence in planning policy terms, if a planning permission results from this application, then that would assist in satisfying Tamworth's housing needs within its own Borough.

Notwithstanding the Council's position in respect of these policy matters, there are clearly going to be impacts on North Warwickshire and its communities close to this site.

The first impact will be traffic generation. It is welcomed that all vehicular access is to be directed westwards to Sandy Lane, Amington and towards the centre of Tamworth. It is agreed too that this would be the anticipated direction of travel for future occupiers of the proposed development. However, congestion here and with a proposal of this size would inevitably lead to drivers seeking alternative routes. These would be the B5000 and Robeys Lane, with routes via Shuttington for drivers heading north. There would inevitably be increased pressure on Polesworth and Dordon for routes to the south and the east. Warwickshire County Council as Highway Authority needs to be consulted on the potential impacts of the proposal over a wide highway network. If highway improvements or mitigation measures are recommended in North Warwickshire then these should be accommodated through a Section 106 Agreement.

Of equal concern is the potential increased risk of flooding in North Warwickshire – particularly in Polesworth. There are extensive sustainable drainage systems earmarked for the development, however the Warwickshire Flood Defence Team needs to be fully involved and its advice taken.

There too will be a visual impact. It is important that the edge of this development does not become an "urban fence". There should be substantial tree planting and earth bunds along the site's eastern boundary. It appears from the Master Plan within the application papers that greater weight is given to landscaping along the western site boundary. This needs to be balanced along the eastern boundary too. Whilst on this matter and picking up on the issue of house numbers, it is considered that Members would wish there to be increased densities in this application in order to reduce the likelihood of other land coming forward to meet Tamworth's housing needs.

It will also be necessary for the agencies responsible for education and health facilities in North Warwickshire to be consulted as well as those that would be consulted for an assessment of impacts on these services within Tamworth.

The development if approved is understandably particularly designed to look towards Tamworth. However there is an opportunity here for the promotion and creation of both footpath and cycle links from the development into North Warwickshire particularly if that enhances such facilities within the Borough.

## **Recommendation**

That Tamworth Borough Council be informed that this Council is concerned about the impacts arising from this proposal on North Warwickshire. It should particularly explore the scope of these impacts on the local highway network in North Warwickshire; on flooding particularly in the valley of the River Anker in Polesworth and further downstream, on the visual impact of the development and on the existing local education and health facilities in North Warwickshire. The Borough Council would also ask the Tamworth Borough Council to consider increasing the density proposed here in order to reduce the likelihood of additional land being required for housing. Additionally the Borough Council would wish to see opportunities taken for adding to and improving pedestrian and cycle linkages from the development into North Warwickshire.

## BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: CON/2015/0001

<b>Background Paper No</b>	<b>Author</b>	<b>Nature of Background Paper</b>	<b>Date</b>
1	Tamworth Borough Council	Consultation	27/2/15

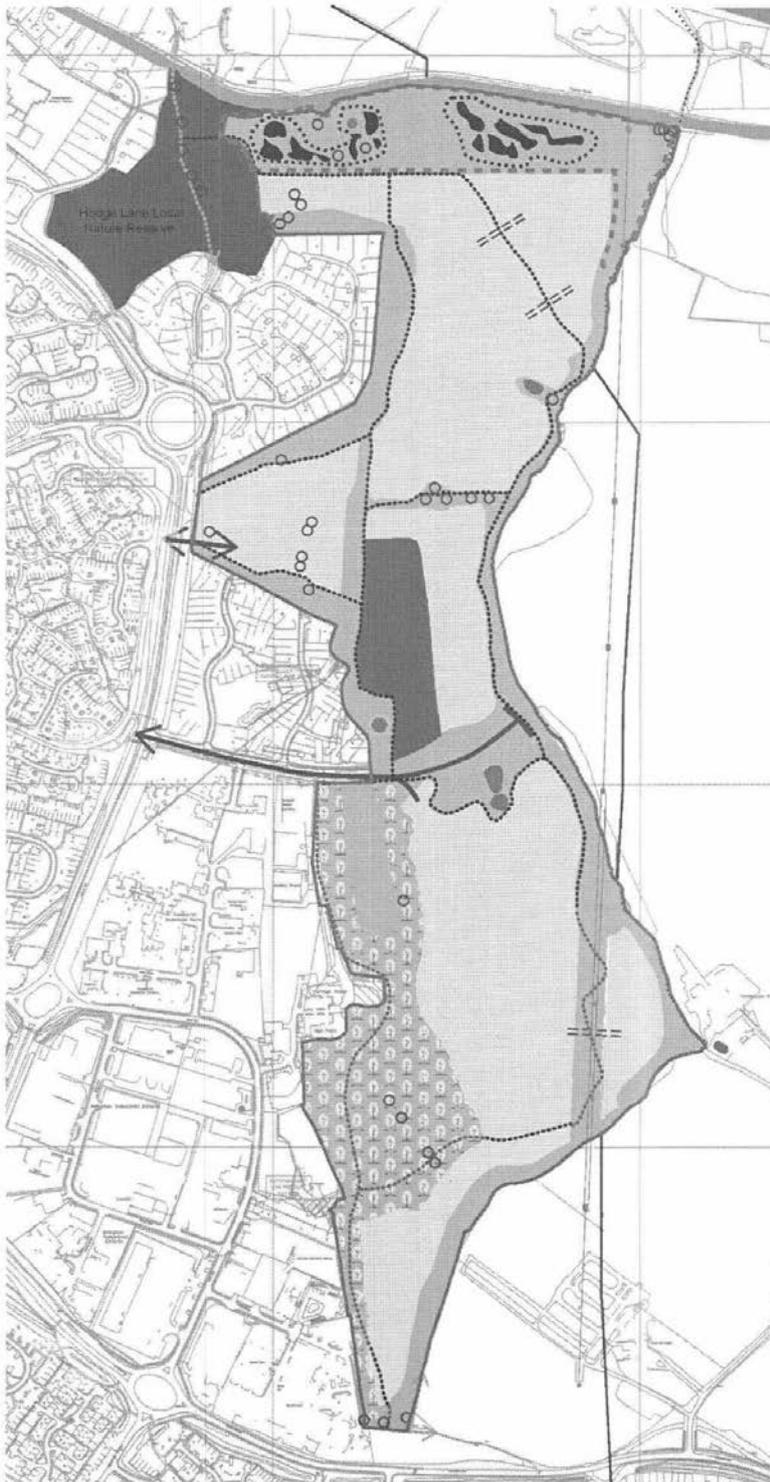
*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*

**Tamworth Golf Course Masterplan**  
**11 02 2015**

APPENDIX A

Tamworth Borough Council
Town Planning
28 <sup>th</sup> February 2015
0088/2015



**Key**

- Cycle & pedestrian - adoptable standard
- Cycle & pedestrian - responsibility of Council
- Cycle & pedestrian - existing network
- Primary school
- Local Centre (area for temporary car park)
- Development area
- Retained & enhanced ponds
- Individual protected trees
- Bat roosting tree
- Site access
- Extension to local nature reserve
- New Community Woodland
- Indicative vehicular access over pipeline
- Natural play area
- Sustainable urban drainage
- Pylons & line (132kV)
- Oil pipeline

The masterplan has a total site area of 60 hectares (approximately).

The masterplan has considered key constraints and opportunities in creating a sustainable urban extension which complies with the Draft Local Plan for Tamworth Borough Council.

The masterplan shows 31ha of housing development. Approximately 1,100 houses will be provided on the site. 20% of the proposed development will be affordable homes. The affordable homes will be a mix of 25% Intermediate Tenure and 75% Rented which should be split between Social Rented and Affordable Rented.

**The housing mix will comply with the draft Local Plan and consist of:**

- 4% of new housing will be 1 bedroom sized units
- 42% of new housing will be 2 bedroom sized units
- 39% of new housing will be 3 bedroom sized units
- 15% of new housing will be 4 bedroom or more sized units

**The masterplan would provide the following community benefits:**

- 2.5 ha primary school
- 7.5 ha New Community Woodland
- 6.9 ha Extension to Hodge Lane Nature Reserve
- 1.2 ha Local Centre
- 31.3 ha Development area
- 25 ha Green infrastructure (includes Community Woodland)
- 3.8km (2.4 miles) miles of new cycle & pedestrian network

**NOTES:**

Local Centres tend to provide a convenience food store plus a takeaway, pub / restaurant, newsagent, pharmacy, community centre or doctor's surgery. Until the Local Centre is developed the area will be used as a temporary car park for accessing the Community Woodland

Scale bar (approx. in metres)

**Tamworth**  
 Borough Council

**(2) Application No: PAP/2014/0404**

**Chapel End Social Club, 50, Coleshill Road, Hartshill, Nuneaton, CV10 0NY**

**Demolition of existing social club and erection of 13 no. dwellings, for**

**Warwickshire Partnership**

**Introduction**

This application for small-scale major development is referred to the Board for determination at the discretion of the Assistant Chief Executive in view of the issues raised

**The Site**

The site has an area of 0.22 hectares and comprises the Chapel End Social Club building, car park and bowling green. There are significant variations in the ground level across the site as the site slopes down, both along and away from the Coleshill Road. The club building is on the higher part of the site at the road level, with the bowling green to the rear and car park to the side at lower levels. These are accessed by steps from the club building and Coleshill Road. The bowling green occupies a level area slightly above the car park. These changes in level effectively reduce the slope on the car parking area which is accessed from Chancery Lane.

The existing club building fronts Coleshill Road. It is traditional in appearance giving a characteristic street scene to this part of the site. The building itself is however of no particular architectural merit. The car park area of the site presents a landscaped open frontage to the Coleshill Road.

**The Proposal**

It is proposed to demolish the existing social club building and to erect thirteen dwellings comprising eleven houses with three bedrooms each and two maisonettes with two bedrooms in its place with vehicle access from Chancery Lane. The houses comprise four three-storey town houses, each with integral garage, and seven two-storey houses. The two maisonettes are within a single building fronting Coleshill Road with an integral basement providing two garages. Each dwelling will have a garage and a parking space or two parking spaces. Manoeuvring and turning space is provided in the centre of the site, which will enable medium sized vehicles to turn within the site.

The two storey houses will be in two separate terraces. One of three houses will face Chancery Lane and the other of four houses, on the site of the bowling green, will face inwards. These face the end gable of terrace of town houses. This is on the site of the former club building and is perpendicular to the Coleshill Road. The proposed layout is attached as Appendix 1.

The proposed development layout reflects the variation in the ground level across the site with terraces perpendicular to the Coleshill Road, with the exception of that on the already level bowling green. This layout is said by the applicant to optimise the developable area; minimise the impact on nearby properties, maintain the vehicle access to the surgery parking and offer a frontage to the Coleshill Road that retains an element of the openness of the existing site frontage. The streetscape and building elevations to Coleshill Road and Chancery Lane are attached as Appendix 2.

Vehicle access will be from Chancery Lane. This will provide vehicle access to ten of the new dwellings, and will continue to provide access to the existing parking spaces for the Chancery Lane Doctor's surgery. This access will include a footpath and pedestrian access to Coleshill Road via steps from the centre of the site. The existing kerb arrangement at the junction of Chancery Lane with Coleshill Road will be re-aligned to increase the kerb radii at the junction and to increase the width of the carriageway at the entrance to Chancery Lane to five metres.

## **Background**

An application to demolish the existing building and erect fourteen dwellings was submitted in 2013. This was withdrawn prior to determination following objection from the Highway Authority. The development proposed in the current application reduces the number of dwellings by one and is designed to address the highway concerns raised previously.

The Chapel End Social Club has not operated as a club for some considerable period. To provide security for the empty premises, access to the property has been restricted by the erection of temporary security fencing.

## **Consultations**

Warwickshire Police – There is no objection but they do recommend design measures to reduce the opportunity for crime.

Warwickshire Museum - No objection

Warwickshire County Council as Highway Authority - No objection subject to conditions to ensure safe access.

Warwickshire County Council (Infrastructure Delivery) – The County identifies a potential need for five additional school places; three primary and two secondary, and thus request a financial contribution of £64,279.

Severn Trent Water – No objection subject to a standard condition to require prior approval of drainage system.

Environmental Health Officer – No comments to make

## **Representations**

Hartshill Parish Council - The Parish Council raises concerns over the impact of this development given existing local traffic congestion; inappropriate on-street parking, the shared vehicle access and the sloping topography. It considers the proposal is over-development; will change the street scene, increase traffic movements and exacerbate on-street parking problems and the difficulties larger vehicles experience in accessing Chancery Lane. It considers a Developer Contribution should accompany the application.

Objections have been received from six local residents and the adjoining Chancery Lane Doctor's Surgery raise concerns over adverse impacts arising from over-development of site; the position of vehicle access, the manoeuvring and turning arrangement, the level of parking provision, loss of existing parking, the width of Chancery Lane, increased demand for on-street parking on Chancery Lane, the doctor's surgery being unable to function and grow, proximity of the access road to the surgery parking and the safety of surgery visitors, inaccessibility for fire service vehicles, boundary fence treatments and the surface water drainage system on Chancery Lane does not cope with heavy rainfall.

## **Development Plan**

The North Warwickshire Core Strategy 2014 – NW1 (Sustainable Development); NW2 (Settlement Hierarchy), NW5 (Split of Housing Numbers), NW6 (Affordable Housing Provision), NW10 (Development Considerations), NW12 (Quality of Development)

Saved Policies of the North Warwickshire Local Plan 2006 – ENV12 (Urban Design); ENV13 (Building Design), ENV14 (Access Design) and TPT6 (Vehicle Parking)

## **Other Material Planning Considerations**

The National Planning Policy Framework 2012

The Council's Pre-Submission Site Allocations Plan – June 2014

Planning Contributions (Section 106 Obligations) - DCLG Nov 2014

## **Observations**

### **a) Principle of Development**

Development that is within or adjacent to Hartshill that is appropriate to the settlement is in principle in accord with the Development Plan. This site is within the settlement development boundary identified for Hartshill within that plan. The scale of the proposed development is appropriate to the size of the existing settlement and the settlement has appropriate local infrastructure to support the development. Although the site is not identified within the current draft Pre-Submission Site Allocations Plan, it is considered to be wholly suitable for residential development and the new housing will contribute to

the additional housing required to be provided over the local plan period – up to 400 as required by the Core Strategy.

The development is thus considered to be sustainable development for which there is a presumption of approval as it is in accord with the Development Plan and the NPPF.

## **b) Development Considerations**

Core Strategy policy NW10 sets out considerations that proposed developments should fulfil. The proposed development is considered to comply with the relevant considerations.

The proposal is for the re-development of previously developed land, i.e. 'brownfield land'. It is close to local shops and facilities. It is well served by public transport with bus services to and from Nuneaton travelling along Coleshill Road. The access for vehicles and pedestrians is safe and appropriate; the proposed parking provision is in accord with adopted parking standards. The Highway Authority has not objected to the principle of 13 dwellings here as junction improvements have been included in the scheme to accord with its standards.

Concerns have been raised over existing traffic and access issues including the demand for on-street parking in this area and inappropriate on-street parking on Chancery Lane creating difficulties for vehicles entering the junction and travelling along the road. The development will have a positive effect on this in that the new houses with vehicle access to Chancery Lane would discourage on-street parking here, and together with the junction improvements and widening of Chancery Lane, this will reduce the potential to obstruct the highway to the benefit of vehicles, including the emergency services, which need to access this part of Chancery Lane.

Comments received indicated that open access to the existing car park area has resulted in parking by users other than club patrons, including patients visiting the nearby surgery. Whilst this informal parking arrangement may have provided convenient additional parking opportunities, access to the car park is a matter for the owners of the site, who would, in the absence of any formally agreed arrangement or established right, be entitled to restrict such access at any time.

The proposed development, by virtue of the layout, design and appearance will provide a satisfactory standard of amenity for occupiers and will not result in unacceptable adverse impacts on nearby properties or for the amenity enjoyed by occupiers of these.

Details of the drainage system for the site are not provided. However Severn Trent Water has no objection subject to the submission and approval of drainage system details prior to commencement of development. This will provide the opportunity to ensure surface water from the development will not exacerbate any existing highway drainage problem.

The development incorporates three house types - a single three-storey town house style and two variations for the two-storey house. The town house has living accommodation on the upper two floors, with level access to the rear garden from the middle floor and a garage and front door on the ground floor accessed from within the development. Although these are 11 metres in height from the ground level inside the

site to the roof ridge, they will be set below the level of Coleshill Road. Thus the height above road level will appear as 8.9 metres.

The two-storey house types include a design with a third bedroom in the roof space and external two parking spaces. This is 8.4 metres high to the roof ridge and designed with an attached garage with a bedroom above. This is 8.2 metres high to the higher roof ridge with the lower side element being 6.4 metres high. The attached lower garage / bedroom element is used vary the roof line of terraces and give the appearance of linked detached houses.

The design of the proposed houses and maisonettes in terms of the mass, form and height respects the sloping site and the location. Chancery Court is an existing three-storey building with a flat roof on the opposite side of Chancery Lane and existing buildings along Coleshill Road step down to accommodate the change in ground level, resulting in varying roof heights. The appearance will harmonise with the character of this part of the settlement. Details of materials are not submitted; however these will be required to be approved by condition prior to commencement of development to ensure the development will improve the local environmental quality.

The development will result in the loss of the opportunity for the social club to re-open. There are other similar licensed facilities within this part of Hartshill, including the nearby Salutation Public House on Chancery Lane. Although a re-opened club facility could be asset to the community, this factor is considered to be of limited significance to the determination of this application. The development of the site will improve the local environmental quality.

### **c) Affordable Housing**

Core strategy Policy NW6 requires either the provision of affordable housing on-site or a financial contribution toward the provision of affordable housing elsewhere from qualifying new residential developments. However where this would put the development at risk of becoming financially unviable, a lesser contribution may be considered.

The applicants have submitted a development viability appraisal with this application. This indicates proposed development is expected to produce a return of 11 %. Whilst this shows the development could return a profit, it could limit opportunities to secure development funding as the figure is considerably below the rate of return often expected by financial institutions from a small developer where the development risk is considered to be greater, this may often be up to 25% .Evidence to verify the figures, provisions and assumptions included within the viability appraisal has been provided. These include details for the site acquisition costs; the final development value, development build and related costs. This evidence is considered to be sufficiently robust to justify the appraisal conclusions. It is accepted therefore in this case that the requirement for contributions for would compromise the delivery of the development proposed. Moreover as Members are aware the new Government guidance on affordable housing provision states that contributions arising from developments of ten or less houses should not carry any affordable housing provision or contribution. This adds significant weight to the conclusion reached above.

The developer will however have to undertake the works to improve the public highway. It is considered that in this particular case there is an argument that this is the preferred form of any contribution arising from this development as these works will improve an

existing poor highway junction for the wider public benefit. These will be subject to agreement under the Highways Acts with the Highway Authority. The implementation of these works prior will be secured by condition.

#### **d) Summary**

The development will create thirteen additional new dwellings in a sustainable development in an appropriate location within the local service centre settlement. It will provide a satisfactory standard of amenity for occupiers and will not have undue adverse impact on nearby properties or on the amenity enjoyed by their occupiers. It will significantly improve the appearance of the immediate area and enhance the character of the settlement. The development will also provide highway improvements that will address existing traffic concerns on Chancery Lane. Whilst the development will not contribute towards affordable housing, this has been properly evidenced. The loss of the former car park which has been used by the community for informal parking is unfortunate however given the informality of the use it can only be afforded very limited significance. Overall the positive impact is considered to carry the greater weight and this is sufficient to justify the grant of planning permission for the development proposed. The development is considered to be sustainable and to comply with the Development Plan and the NPPF.

#### **Recommendation**

That the application be **GRANTED** subject to the following conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years from the date of this permission.

##### **REASON**

To comply with Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and to prevent an accumulation of unimplemented planning permissions.

2. The development hereby approved shall not be carried out otherwise than in accordance with the plan numbered 12/94/04, 12/94/12B, 12/94/04, 12/94/13, 12/94/015A & 12/94/19 received by the Local Planning Authority on 1/8/2014 and the plan numbered 12/94/18B received by the Local Planning Authority on 14/10/2014 and the plan numbered 12/94/17D received by the Local Planning Authority on 16/12/2014 and the plan numbered 12/96/11 received by the Local Planning Authority on 6/3/2015 and the plan numbered 12/94/16B received by the Local Planning Authority on 31/3/2015.

##### **REASON**

To ensure that the development is carried out strictly in accordance with the approved plans.

3. No development shall commence until a scheme for the construction of the foul and surface water drainage systems have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

4. No development shall be commenced before details of the:

- facing bricks and roofing tiles; surfacing materials; retaining walls; boundary or screen wall facing bricks/materials to be used have been submitted to and approved by the Local Planning Authority in writing. The approved materials only shall then be used.

REASON

In the interest of amenity.

5. No development, including demolition, shall commence until a Construction Method and Management Statement has been submitted to and approved in writing by the Local Planning Authority. This shall include details of :

- the method of demolition of existing buildings and removal of demolition materials;
- the hours during which work will take place;
- the parking provision for construction workers;
- the arrangements to manage deliveries to the site;
- the measures to prevent the deposit of extraneous materials on the surrounding highway network
- the measures to minimise disturbance due to noise and dust;
- the location of site buildings and the arrangements for the storage of materials.
- the location and specification of any site lighting to be installed during the construction phase;
- the procedure for the handling of complaints;
- the period during which plan shall be put into effect,
- the means by which the plan provisions will be monitored and reviewed.

The approved Statement shall be implemented in full and complied with all times.

REASON

In interest of amenity, highway safety & sustainable development.

6. No development shall commence until details of the landscaping scheme have been submitted to and approved in writing by the Local Planning Authority.

REASON

In the interest of amenity.

7. The development shall not be commenced until visibility splays have been provided to the vehicular accesses to the site, passing through the limits of the site fronting the public highway, with 'x' distances of 2.4 metres and 'y' distances of 25.0 metres to the near edge of the public highway carriageway (20.0 metres from Plot 3 looking right (North / North-easterly)). No structure, tree or shrub shall be erected, planted or retained within the splays exceeding, or likely to exceed at maturity, a height of 0.6 metres above the level of the public highway carriageway.

REASON

In the interest of highway safety

8. The development shall not be commenced until a turning area has been provided within the site so as to enable general site traffic and construction vehicles to leave and re-enter the public highway in a forward gear.

REASON

In the interest of highway safety

9. The development hereby permitted shall not commence or continue unless measures are in place to prevent/minimise the spread of extraneous material onto the public highway by the wheels of vehicles using the site and to clean the public highway of such material.

REASON

In the interest of highway safety

10. No dwelling shall be occupied until the shared bellmouth access in to the site from Chancery Lane and the bellmouth junction of Chancery Lane with Coleshill Road have been constructed in general accordance with drawing number 12/94 17C and the standard specification of the Highway Authority.

REASON

In the interest of highway safety

11. Access for vehicles to the site from the public highway (Chancery Lane D1004) shall not be made other than at the position identified on the approved drawing, number 12/94 17D, providing an access no less than 5.0 metres in width for a distance of 30 metres, as measured from the public highway carriageway. No gates shall be hung within the vehicular access to the site so as to open within 12.0 metres of the public highway footway.

REASON

In the interest of highway safety

12. No development shall commence until full details of the construction of the road serving the development including footways, private drives and means of accessing individual plots, drainage (including the outfalls) and levels of the car parking and manoeuvring areas as shown on the approved plan have been submitted to and approved in writing by the local planning authority in consultation with the Highway Authority. The site shall not be occupied until the areas have been laid out and substantially constructed. Such areas shall be permanently retained for the parking and manoeuvring of vehicles. The vehicular accesses to the site shall not be constructed in such a manner as to reduce the effective capacity of any highway drain or permit surface water to run off the site onto the public highway.

REASON

In the interest of highway safety

13. The accesses to plots 1, 2 and 3 for vehicles shall not be used unless public highway footway crossings have been laid out and constructed in accordance with the standard specification of the Highway Authority.

REASON

In the interest of highway safety

15. The approved landscaping scheme shall be implemented within nine calendar months of the date of occupation of the first dwelling for domestic purposes. In the event of any tree or plant failing to become established within five years thereafter, each individual tree or plant shall be replaced within the next available planting season.

REASON

In the interest of amenity.

16. No external lighting shall be placed or erected on the site without details first having been submitted to, and approved in writing, by the Local Planning Authority.

REASON

In the interest of amenity and highway safety.

17. Glare shall not be created upon the public highway from lighting sources within the site.

REASON

In the interest of safety on the public highway.

18. The garages hereby permitted shall not be used for any purpose other than for the garaging of vehicles.

REASON

To ensure the on-site parking provision is retained in the interest of amenity and highway safety.

19. The parking spaces hereby approved shall not be used for any purpose other than for the parking of vehicles.

REASON

To the on-site parking provision is retained in the interest of amenity and highway safety.

20. No development whatsoever within Class A or Class B of Part1 of Schedule 2 of the Town and Country Planning (General Permitted Development Order) 1995, as amended, shall commence on site without details first having been submitted to, and approved in writing by the Local Planning Authority.

REASON

In the interest of amenity.

## BACKGROUND PAPERS

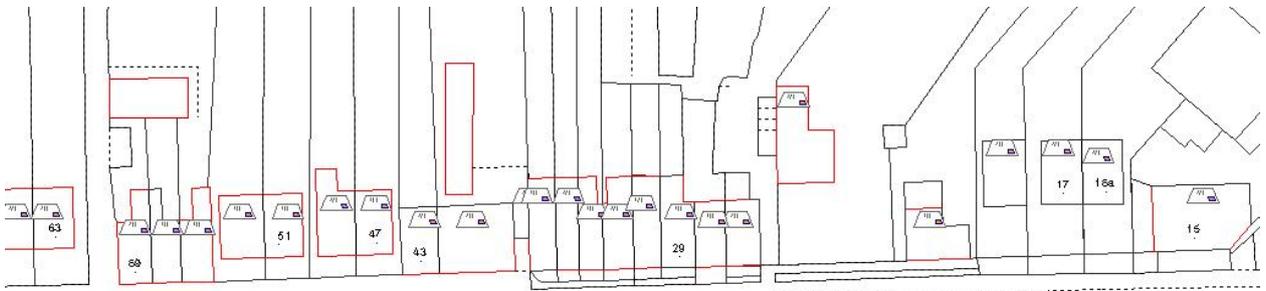
Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2014/0404

Background Paper No	Author	Nature of Background Paper	Date
1	The Applicant or Agent	Application Forms, Plans and Statement(s)	1/8/2014, 22/9/2014 4/10/2014, 14/11/2014 17/11/2014 ,16/12/2014, 4,11/2/2015, 5,4/3/2015, 6/3/2015, 31/5/2015
2	Warwickshire Police	Consultation response	8/8/2014
3	Warwickshire CC Highways	Consultation response	22/8/2014 & 28/10/2014
4	ST Water	Consultation response	18/9/2014
5	Warwickshire CC Archaeology	Consultation response	10/8/2014 & 23/3/2015
6	NWBC EHO	Consultation response	13/8/2014
7	Hartsthill PC	Consultation response	1/9/2014 & 26/8/2014
8	Warwickshire CC Infrastructure	Consultation response	1/12/2014
9			
10	BS Sidhu & RP Bhatra	Representation	26/8/2014
11	R Cockayne	Representation	9/8/2014
12	G Senter	Representation	15/8/2014
13	R Clarke	Representation	21/8/2014
14	S Hinds	Representation	29/8/2014
15	T Wykes	Representation	27/8/2014
16	J Wykes	Representation	23/8/2014

*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

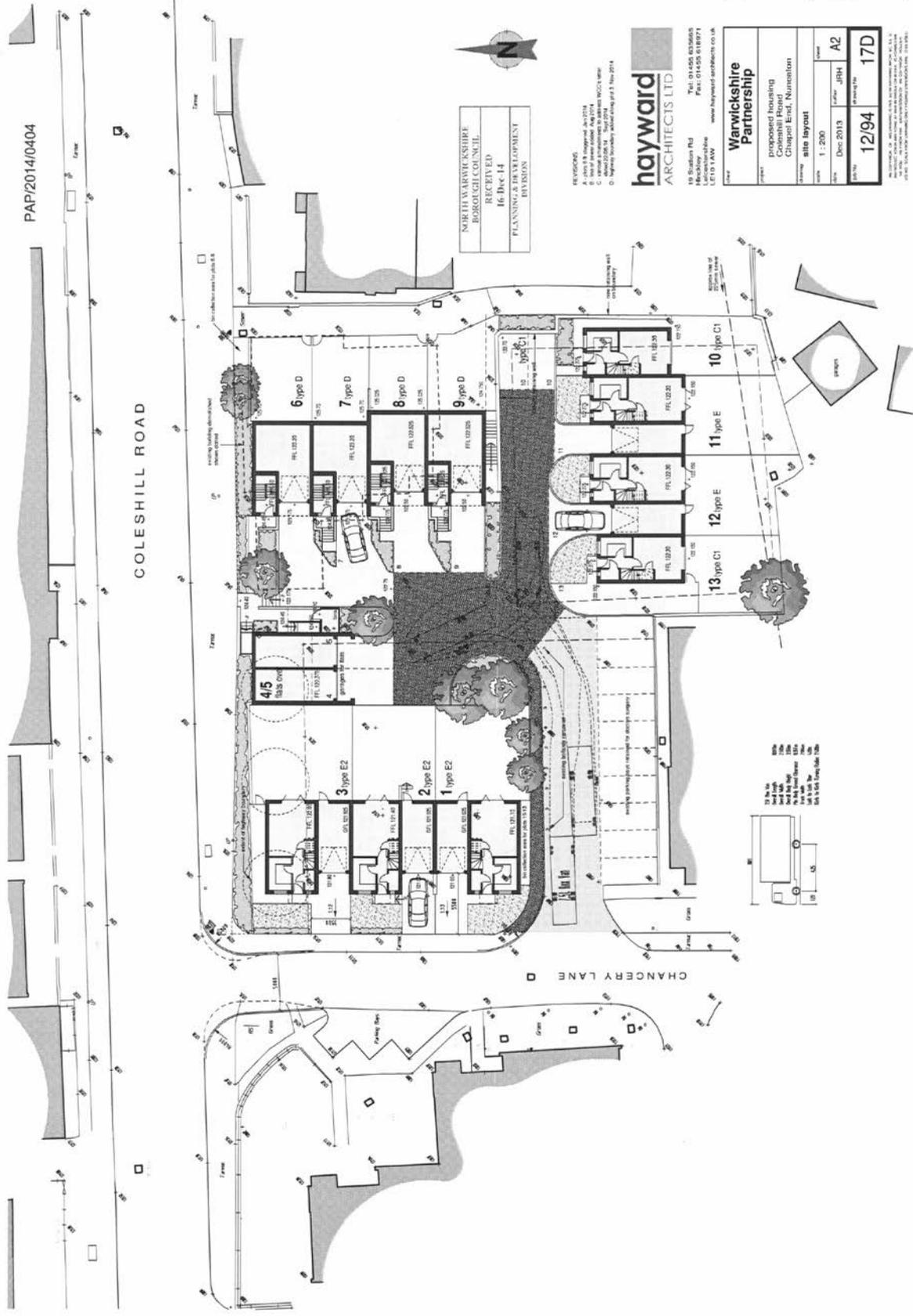
*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*

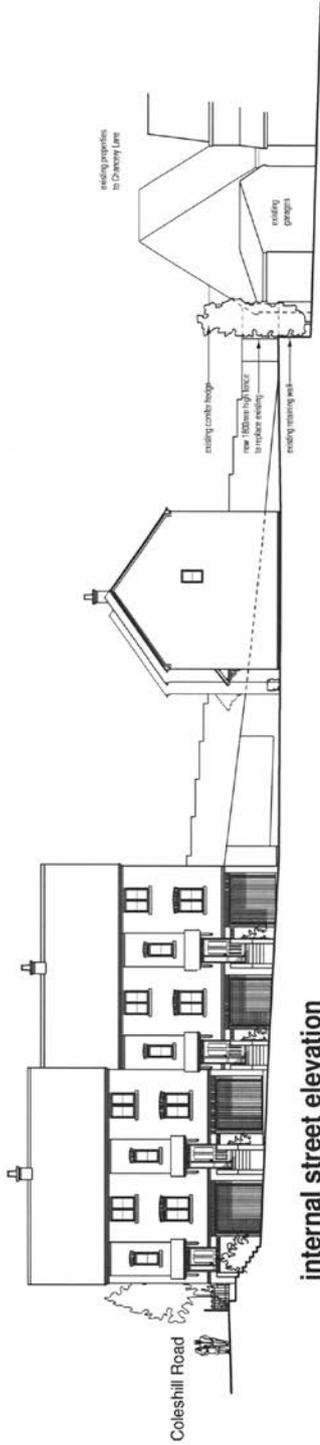


125.8m

COLESHILL ROAD



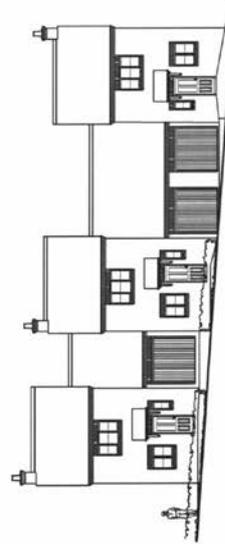




internal street elevation



elevation to Coleshill Road



elevation to Chancery Lane

REVISIONS

- A - changes to suit new site layout. July 2014
- B - Chancery Lane elevation amended. Mar 2015

NORTH ANGLIASHIRE BOROUGH COUNCIL
RECEIVED
31-Mar-15
PLANNING & DEVELOPMENT DIVISION

**hayward**  
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19 Station Rd  
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Fax: 01455 818971  
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Client	Warwickshire Partnership
Project	proposed housing Coleshill Road, Chappel End Nuneaton
Drawing	site elevations
Scale	1 : 200
Date	Sept 2013
Author	JRH
Sheet	A3
Plot No.	12/94
Plotting No.	16B

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Appendix 2

**(3) Application No: PAP/2014/0433**

**Land Adjacent And Rear Of Manor Croft, Newton Lane, Austrey,**

**Outline - residential development of 4 dwellings, parking & new access, for**

**Mr Raymond Davies**

**Introduction**

This application was reported to Board in March 2015. A copy of the report is attached as Appendix One.

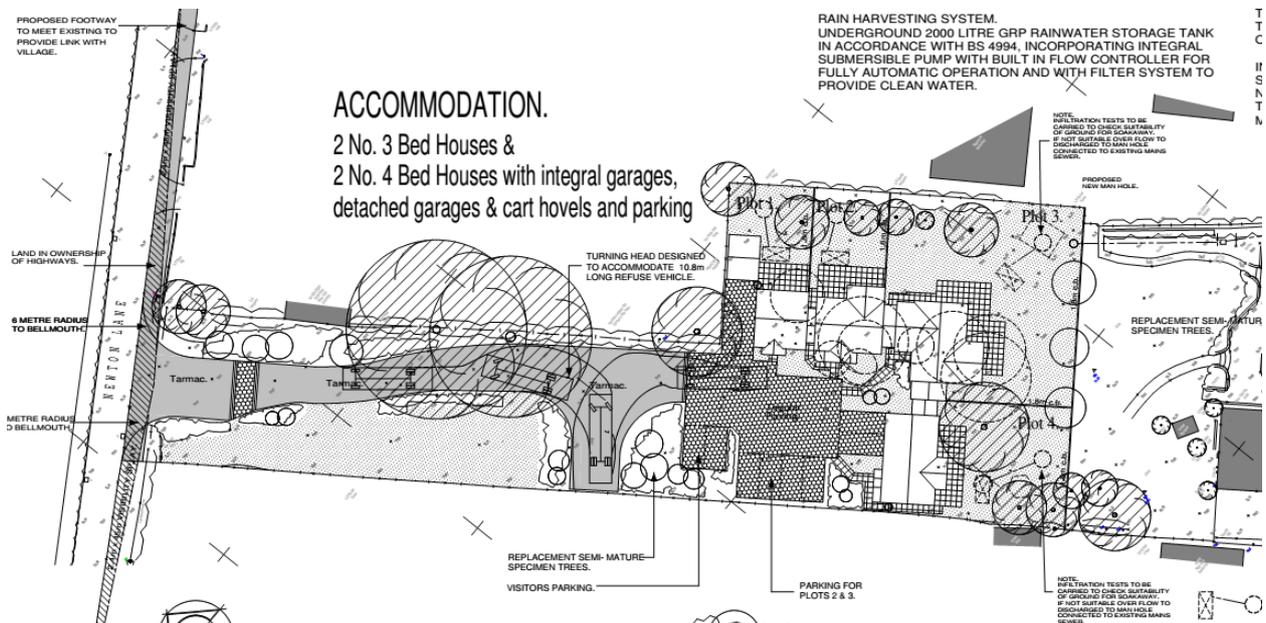
The Board resolved that it was minded to support the principle of development at the site, but raised concerns about aspects of the site layout.

These concerns were reported to the applicant and revised plans were subsequently submitted.

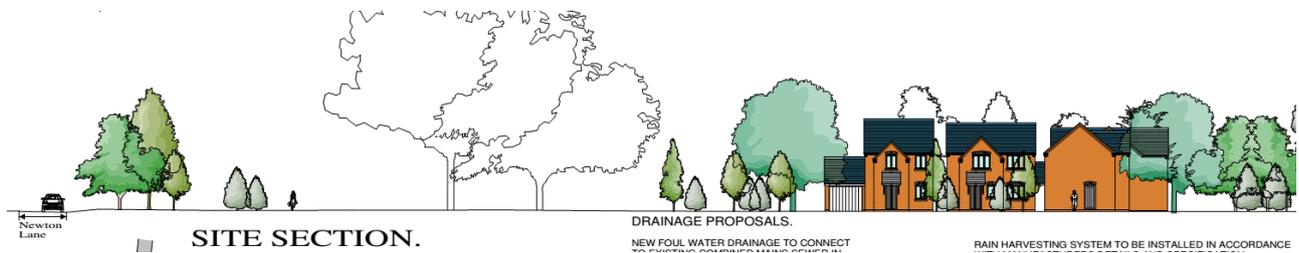
**The Proposal**

The proposal has been revised to reduce the number of dwellings from 5 to 4. The unit originally proposed on the part of the site fronting Newton Lane has been deleted. The development would now comprise 4 linked detached dwellings. Two would have three bedrooms and two would have four bedrooms.

The site layout would be as shown below:



The site section shows that the new dwellings would be clustered at the end of a new access drive and vehicle turning area.



## Consultations

Warwickshire County Highways Authority was consulted on the revised proposal. Whilst the plans address the previous concern about the bell-mouth radii, the Highway Authority continues to maintain an objection for two reasons. Firstly, it points out that the vehicle shown on the drawing is a twin axle vehicle of 10m length, whereas it should accommodate a 10.8m length, three axle vehicle. It is not satisfied that swept path analysis has shown that a refuse vehicle can reach the proposed dwellings. Secondly, it continues to express concern that a continuous footway into the village will not be provided. Despite the reduction to 4 dwellings, such pedestrian connectivity should still be provided.

In the event that Members are minded to support the proposal in its present form, the Highway Authority has suggested conditions that should be attached to any permission granted.

## Representations

Re-consultation has resulted in the receipt of no further representations.

## Observations

The only matters for consideration are whether the revised plans address the concerns expressed by the Board previously.

The omission of the unit fronting Newton Lane overcomes the concern expressed that it previously appeared as 'squashed in' over-development.

It is acknowledged that Members expressed concern about the prospect of kerbside storage and collection of refuse and indicated a strong preference for the collection from the vicinity of the new dwellings. Although the submitted plans show a turning area at the head of the new access track, the Highway Authority still expresses concern that it has not been shown that it will enable the largest refuse vehicles to enter the site.

Further plans have been requested from the applicant to show, with a swept path analysis, that the correct vehicle can enter the site using a forwards gear, turn around and then re-enter the public highway using a forward gear. Members will be provided with an update in respect of this matter at the meeting.

If the applicant is able to demonstrate a turning area for the larger vehicle, then the matter is fairly straight forward. The scheme will address Members' reservations about kerbside storage and collection of refuse, however, if the site dimensions do not allow for access by the larger vehicle, then Members will need to decide whether or not they grant planning permission in the face of the Highway Authority objection and accept the inclusion of a bin collection area on the Newton Lane frontage.

The recommendation remains that the application be **GRANTED**, subject to conditions.

### **Recommendation**

That the application be **GRANTED** subject to the following conditions:

1. This permission is granted under the provisions of Article 4(1) of the Town and Country Planning (Development Management Procedure) (England) Order 2010 on an outline approval, and the further approval of the Local Planning Authority shall be required with respect to the under-mentioned matters hereby reserved before any development is commenced:-

- (a) landscaping
- (b) layout plans and full elevation drawings of the proposed dwellings

#### **REASON**

To comply with Section 92 of the Town and Country Planning Act 1990.

2. In the case of the reserved matters specified above, application for approval, accompanied by all detailed drawings and particulars, must be made to the Local Planning Authority not later than the expiration of three years beginning with the date of this permission.

#### **REASON**

To comply with Section 92 of the Town and Country Planning Act 1990.

3. The development to which this permission relates must be begun not later than the expiration of two years from the final approval of all reserved matters.

#### **REASON**

To comply with Section 92 of the Town and Country Planning Act 1990.

4. The development hereby approved shall not be carried out otherwise than in accordance with the plan numbered 9256.03 Rev\*\*\*\* received by the Local Planning Authority on \*\*\*\*\* and the plans numbered 9256.04 and 9256.01 received by the Local Planning Authority 12 August 2014.

#### **REASON**

To ensure that the development is carried out strictly in accordance with the approved plans.

5. No development shall be commenced before details of the facing materials and roofing tiles to be used have been submitted to and approved by the Local Planning Authority in writing. The approved materials shall then be used.

#### **REASON**

In the interests of the amenities of the area.

6. Acoustic double glazing and acoustically treated ventilation shall be incorporated into habitable rooms in the proposed dwellings hereby approved. Prior to the commencement of development full details shall be submitted to and approved by the Local Planning Authority in writing. The approved details shall be installed in full and maintained as such at all times thereafter.

REASON

To protect the occupiers from the potential from noise disturbance from road and rail traffic.

7. No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the local planning authority.

REASON

To ensure the recording of any items of archaeological interest.

8. Prior to the commencement of development a scheme for the compensation of biodiversity lost as a result of the approved development shall be submitted to and approved by the Local Planning Authority in writing.

REASON

To meet the requirements of Policy NW15 of the North Warwickshire Core Strategy 2014.

9. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of screen walls/fences/hedges to be erected. The approved screen walls/fences shall be erected before the dwellings hereby approved are first occupied and shall subsequently be maintained. Any trees or plants which, within a period of 5 years from the date of planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

REASON

In the interests of the amenities of the area.

10. The development hereby permitted shall only be carried out in such a manner that the rate of surface water run-off generated by the site shall be limited to discharge at no more than the existing greenfield rate and as agreed with Severn Trent Water (5l/s) and the attenuation of surface water on site shall be to the 1 in 100 year flood event standard plus an allowance of 30% for climate change, using SuDS.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

11. Prior to the commencement of development a fully labelled network drawing, with corresponding detailed network calculations, showing all dimensions of all elements of the proposed drainage system including control devices and structures shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

12. Prior to the commencement of development modelled results for critical storms, including as a minimum 1yr, 30yr, and 100yr +30% cc events of various durations, shall be submitted to and approved in writing by the Local Planning Authority. A submerged outfall should be used for the modelling. An electronic copy of the model shall be submitted to Warwickshire County Council Flood Risk Management Team.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

13. Prior to the commencement of development detailed drawings showing plan and sections of the proposed permeable paving shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

14. In the event that the drainage network is to be adopted, evidence of an agreement with the adopting body shall be submitted to the Local Planning Authority prior to the occupation of the first dwelling..

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

15. Prior to the commencement of development evidence of overland flood flow routing in case of system failure shall be submitted to and approved in writing by the Local Planning Authority. This should include the hydraulic modelled flow routes with depths/velocities of the flow.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

16. No works shall commence on site until detailed design drawings and supportive calculations for the disposal of foul and surface water sewage have been submitted and approved by the Local Planning Authority in writing. No sewage discharge shall be in operation until the drainage works in accordance with the approved drawings have been completed.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

17. Prior to the commencement of development a Maintenance Plan giving details on how the entire surface water system will be maintained shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To prevent pollution of the water environment and to minimise the risk of flooding on or off the site.

### **Plus conditions as recommended by the Highway Authority.**

#### **Notes**

1. Conditions require works to be carried out within the limits of the public highway. Before commencing such works the applicant / developer must serve at least 28 days notice under the provisions of Section 184 of the Highways Act 1980 on the Highway Authority's Area Team.

2. This process will inform the applicant of the procedures and requirements necessary to carry out works within the Highway and, when agreed, give consent for such works to be carried out under the provisions of S184. In addition, it should be noted that the costs incurred by the County Council in the undertaking of its duties in relation to the construction of the works will be recoverable from the applicant/developer.

3. The Area Team may be contacted by telephone: (01926) 412515. In accordance with Traffic Management Act 2004 it is necessary for all works in the Highway to be noticed and carried out in accordance with the requirements of the New Roads and Streetworks Act 1991 and all relevant Codes of Practice.

4. Before commencing any Highway works the applicant/developer must familiarise themselves with the notice requirements, failure to do so could lead to prosecution. Application should be made to the Street Works Manager, Budbrooke Depot, Old Budbrooke Road, Warwick, CV35 7DP. For works lasting ten days or less, ten days notice will be required. For works lasting longer than 10 days, three months notice will be required.

5. The submitted plans indicate that the proposed works come very close to, or abut neighbouring property. This permission does not convey any legal or civil right to undertake works that affect land or premises outside of the applicant's control. Care should be taken upon commencement and during the course of building operations to ensure that no part of the development, including the foundations, eaves and roof overhang will encroach on, under or over adjoining land without the consent of the adjoining land owner. This planning permission does not authorise the carrying out of any works on neighbouring land, or access onto it, without the consent of the owners of that land. You would be advised to contact them prior to the commencement of work.

6. You are recommended to seek independent advice on the provisions of the Party Wall etc. Act 1996, which is separate from planning or building regulation controls, and concerns giving notice of your proposals to a neighbour in relation to party walls, boundary walls and excavations near neighbouring buildings. An explanatory booklet can be downloaded at [www.communities.gov.uk/publications/planningandbuilding/partywall](http://www.communities.gov.uk/publications/planningandbuilding/partywall).

7. In dealing with this application, the Local Planning Authority has worked with the applicant in a positive and proactive manner through seeking to resolve planning objections and issues and suggesting amendments to improve the quality of the proposal. As such it is considered that the Council has implemented the requirement set out in paragraphs 186 and 187 of the National Planning Policy Framework.

## BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2014/0433

<b>Background Paper No</b>	<b>Author</b>	<b>Nature of Background Paper</b>	<b>Date</b>
1	Applicant	Revised Plans	11 3 15
2	Warwickshire County Highways Authority	Consultation Reply	30 3 15

*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*

## APPENDIX ONE

Application No: PAP/2014/0433

Land Adjacent And Rear Of Manor Croft, Newton Lane, Austrey

Outline - residential development of 5 dwellings, parking and new access, for

Mr Raymond Davies

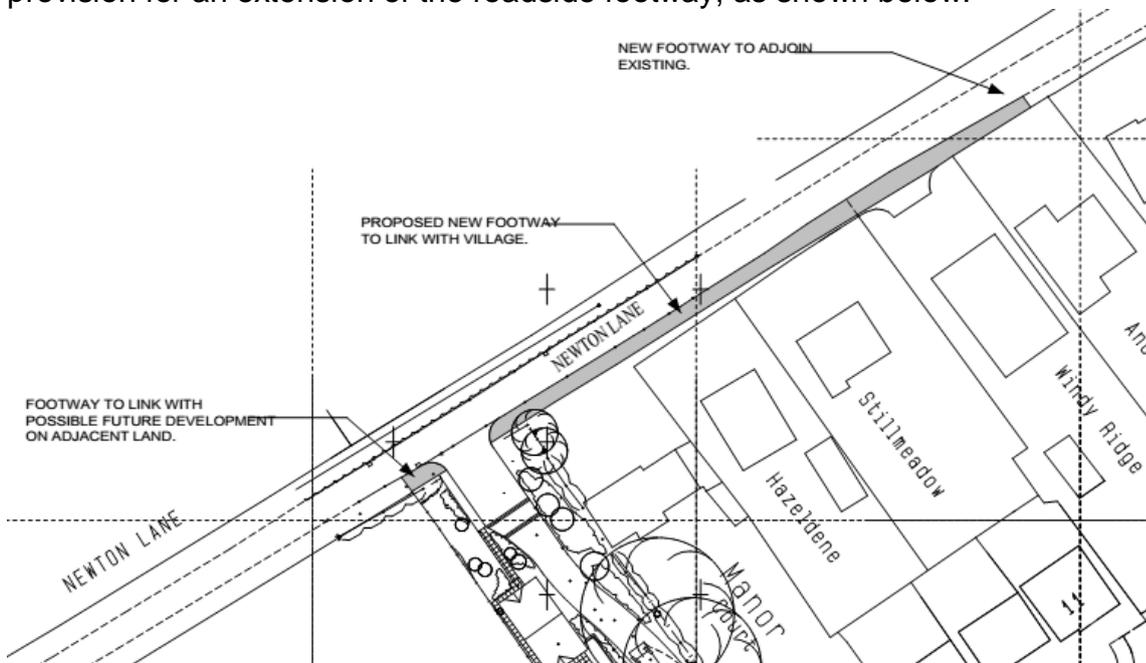
### Introduction

The report to Board in November 2014 described the proposal; detailed the representations that had been received and highlighted the issues that needed to be addressed prior to the determination of the application. The Officer's recommendation at that time was 'Minded to Support' subject to the resolution of the outstanding highway and drainage objections. It also indicated that support should be subject to the signing of a S106 Agreement covering housing and off-site play space/open space.

The November 2014 report is attached at the foot of this item as **Appendix E**. The November report should be read in conjunction with this current report and regard should be had to its content when determining this planning application.

### The Proposal – Update

In response to a requirement of the Highway Authority to improve pedestrian connectivity from the site to the village the applicant has revised the scheme to make provision for an extension of the roadside footway, as shown below:



To clarify the drainage proposals the applicant has submitted drawings showing the incorporation of rainwater harvesting and indicating that the ground conditions will be checked for the suitability of soakaways. The fall back position is shown as discharge to the public sewers.

## **New Consultation Findings**

Warwickshire County Highways Authority – Objection.

Warwickshire County Council (Flood Risk Management) - No objection subject to conditions.

## **Additional Representations**

Two further letters of objection have been received raising the following concerns:

- Concern about the number of dwellings proposed in the village
- Concern about flooding
- Proximity to the M42/HS2
- The narrowness of the lane and absence of pavements
- The likely reliance on private vehicles
- The impact on surrounding landscape
- The development would not be in keeping with adjacent development which is 1 and 1 ½ storeys.

## **Observations**

### Drainage Issues

The Flood Risk Management Officer has been re-consulted on the detailed drainage scheme and confirms that he has no objection to the drainage proposal subject to conditions.

### Affordable Housing/Open Space

As detailed in the introduction to the main report the requirement for affordable housing and off-site contributions towards open space/play space no longer applies in respect of development of this size.

### Highways Issues

The County Council objects on the basis that:

- the bellmouth should be constructed with radii no less than 4.0 metres, but preferably 6.0 metres
- that refuse vehicles 10.8 metres in length cannot enter the site enter. However it points out that allowance for collections abutting the highway, which would negate the need to enter the site, a designated refuse bin store / collection point would need to be provided within the site.
- A footway extension is proposed between the site and the existing footway easterly of the site fronting Newton Lane. Whilst the Highway Authority is supportive of the extension it does not provide a continuous pedestrian link to the village. The footway ends fronting The Willow on No Mans Heath Lane. That leaves pedestrians to walk in the carriageway where street lighting is limited, the carriageway width narrows and there are limited places for pedestrians to take refuge from passing traffic.

The Highway Authority's desire to have full pedestrian connectivity to the village is understood and the applicant has acknowledged this through the revision of the scheme to form a new footway along Newton Lane. If planning permissions are granted in respect of adjoining sites, connectivity will be improved in a westerly direction (although it is acknowledged that this cannot be guaranteed. It needs to be queried whether it is reasonable in these circumstances to refuse planning permission on the basis of issues and limitations with pedestrian access.

The concerns about the bell-mouth radii and bin collection point can be addressed through conditions attached to the planning permission if granted.

### Concluding Observations

As detailed in the November 2014 report, the site lies partly outside and partly within the development boundary for Austrey. Whilst the site is mostly outside of the identified development boundary, it is partly within and wholly adjacent to the existing built form and can reasonably be argued to be organic and sustainable growth. It proposes only 5 dwellings and would sit adjacent to existing residential development and would be contained by an existing roadway. The land has an existing quasi residential character.

On this basis, it was concluded that the development was, small in scale (in accord with that envisaged in the settlement hierarchy), and sustainably located adjoining the settlement edge. It would also appear that it accords with the draft Neighbourhood Plan in its policy on additional sites for housing. In accord with there being an overall presumption in favour of sustainable development, it is recommended that this small development may be supported.

### **Recommendation**

That planning permission be **GRANTED** subject to conditions:

1. This permission is granted under the provisions of Article 4(1) of the Town & Country Planning (Development Management Procedure) (England) Order 2010 on an outline approval, and the further approval of the Local Planning Authority shall be required with respect to the under-mentioned matters hereby reserved before any development is commenced:-
  - (a) Landscaping
  - (b) Layout plans and full elevation drawings of the proposed dwellings
2. In the case of the reserved matters specified above, application for approval, accompanied by all detailed drawings and particulars, must be made to the Local Planning Authority not later than the expiration of three years beginning with the date of this permission.
3. The development to which this permission relates must be begun not later than the expiration of two years from the final approval of all reserved matters.
4. The development hereby approved shall not be carried out otherwise than in accordance with the plan numbered 9256.03 RevF received by the Local

Planning Authority on 16 February 2015 and the plans numbered 9256.04 and 9256.01 received by the Local Planning Authority 12 August 2014.

5. Notwithstanding the detail shown on the approved drawings, the bellmouth to the access shall be constructed with radii no less than 6.0 metres.
6. Prior to the commencement of development details of a proposal for a designated refuse bin store/collection point within the site shall be submitted to and approved by the Local Planning Authority in writing. The approved arrangements shall be fully installed prior to the occupation of any dwelling hereby approved.
7. No development shall be commenced before details of the facing materials and roofing tiles to be used have been submitted to and approved by the Local Planning Authority in writing. The approved materials shall then be used.
8. No development or site works whatsoever shall commence on site until details of measures for the protection of the existing trees which are to remain and for the protection of adjacent dwellings have been submitted to and approved in writing by the Local Planning Authority.
9. No development or site works whatsoever shall commence on site until the measures approved in Condition No 8 above have been implemented in full.
10. Acoustic double glazing and acoustically treated ventilation shall be incorporated into habitable rooms in the proposed dwellings hereby approved. Prior to the commencement of development full details shall be submitted to and approved by the Local Planning Authority in writing. The approved details shall be installed in full and maintained as such at all times thereafter.
11. No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the local planning authority.
12. Prior to the commencement of development a scheme for the compensation of biodiversity lost as a result of the approved development shall be submitted to and approved by the Local Planning Authority in writing.
13. The access to the site for vehicles shall not be used in connection with the development until it has been surfaced with a bound material for a minimum distance of 7.5 metres as measured from the near edge of the public highway carriageway.
14. The development shall not be occupied until a turning area has been provided within the site so as to enable the largest vehicle likely to enter the site to leave and re-enter the public highway in a forward gear.
15. The Applicant/Developer shall install suitable measures to ensure that mud and debris will not be deposited on the highway as result of construction traffic leaving the site. Prior to the commencement of the development, the details of these measures (including type, method of operation and control of use) shall be

submitted in writing to the Local Planning Authority for their approval in consultation with the Highway Authority.

16. The development shall not be commenced until space has been provided within the site for the parking and loading/unloading] of delivery/construction/demolition vehicles in accordance with details to be approved in writing by the Local Planning Authority.
17. The parking area hereby approved shall not be used for any purpose other than the parking of cars.
18. No work relating to the construction of the development hereby approved, including works of demolition or preparation prior to operations, or internal fitting out, shall take place before the hours of 0700 nor after 1900 Monday to Friday, before the hours of 0800 nor after 1300 Saturdays nor on Sundays or recognised public holidays.
19. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of screen walls/fences/hedges to be erected. The approved screen walls/fences shall be erected before the dwellings hereby approved are first occupied and shall subsequently be maintained. Any trees or plants which, within a period of 5 years from the date of planting, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.
20. The development hereby permitted shall only be carried out in such a manner that the rate of surface water run-off generated by the site shall be limited to discharge at no more than the existing greenfield rate and as agreed with Severn Trent Water (5l/s) and the attenuation of surface water on site shall be to the 1 in 100 year flood event standard plus an allowance of 30% for climate change, using SuDS.
21. Prior to the commencement of development a fully labelled network drawing, with corresponding detailed network calculations, showing all dimensions of all elements of the proposed drainage system including control devices and structures shall be submitted to and approved in writing by the Local Planning Authority.
22. Prior to the commencement of development modelled results for critical storms, including as a minimum 1yr, 30yr, and 100yr +30% cc events of various durations, shall be submitted to and approved in writing by the Local Planning Authority.. A submerged outfall should be used for the modelling. An electronic copy of the model shall be submitted to Warwickshire County Council Flood Risk Management Team.
23. Prior to the commencement of development detailed drawings showing plan and sections of the proposed permeable paving shall be submitted to and approved in writing by the Local Planning Authority.

24. In the event that the drainage network is to be adopted, evidence of an agreement with the adopting body shall be submitted to the Local Planning Authority prior to the occupation of the first dwelling..
25. Prior to the commencement of development evidence of overland flood flow routing in case of system failure shall be submitted to and approved in writing by the Local Planning Authority. This should include the hydraulic modelled flow routes with depths/velocities of the flow.
26. No works shall commence on site until detailed design drawings and supportive calculations for the disposal of foul and surface water sewage have been submitted and approved by the Local Planning Authority in writing. No sewage discharge shall be in operation until the drainage works in accordance with the approved drawings have been completed.
27. Prior to the commencement of development a Maintenance Plan giving details on how the entire surface water system will be maintained shall be submitted to and approved in writing by the Local Planning Authority.

## Notes

1. Conditions require works to be carried out within the limits of the public highway. Before commencing such works the applicant / developer must serve at least 28 days notice under the provisions of Section 184 of the Highways Act 1980 on the Highway Authority's Area Team.

This process will inform the applicant of the procedures and requirements necessary to carry out works within the Highway and, when agreed, give consent for such works to be carried out under the provisions of S184. In addition, it should be noted that the costs incurred by the County Council in the undertaking of its duties in relation to the construction of the works will be recoverable from the applicant/developer.

The Area Team may be contacted by telephone: (01926) 412515. In accordance with Traffic Management Act 2004 it is necessary for all works in the Highway to be noticed and carried out in accordance with the requirements of the New Roads and Streetworks Act 1991 and all relevant Codes of Practice.

Before commencing any Highway works the applicant/developer must familiarise themselves with the notice requirements, failure to do so could lead to prosecution. Application should be made to the Street Works Manager, Budbrooke Depot, Old Budbrooke Road, Warwick, CV35 7DP. For works lasting ten days or less, ten days notice will be required. For works lasting longer than 10 days, three months notice will be required.

2. The submitted plans indicate that the proposed works come very close to, or abut neighbouring property. This permission does not convey any legal or civil right to

undertake works that affect land or premises outside of the applicant's control. Care should be taken upon commencement and during the course of building operations to ensure that no part of the development, including the foundations, eaves and roof overhang will encroach on, under or over adjoining land without the consent of the adjoining land owner. This planning permission does not authorise the carrying out of any works on neighbouring land, or access onto it, without the consent of the owners of that land. You would be advised to contact them prior to the commencement of work.

3. You are recommended to seek independent advice on the provisions of the Party Wall etc. Act 1996, which is separate from planning or building regulation controls, and concerns giving notice of your proposals to a neighbour in relation to party walls, boundary walls and excavations near neighbouring buildings. An explanatory booklet can be downloaded at [www.communities.gov.uk/publications/planningandbuilding/partywall](http://www.communities.gov.uk/publications/planningandbuilding/partywall).
4. In dealing with this application, the Local Planning Authority has worked with the applicant in a positive and proactive manner through seeking to resolve planning objections and issues and suggesting amendments to improve the quality of the proposal. As such it is considered that the Council has implemented the requirement set out in paragraphs 186 and 187 of the National Planning Policy Framework.

## BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2014/0433

<b>Background Paper No</b>	<b>Author</b>	<b>Nature of Background Paper</b>	<b>Date</b>
1	D Rowse	Representation – Objection	4 11 15
2	S Duggan	Representation – Objection	4 11 15
3	Warwickshire County Highways Authority	Consultation Reply	31 10 15
4	Warwickshire County Council (Flood Risk Management)	Consultation Reply	27 2 15

*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*

**Land Adjacent And Rear Of Manor Croft, Newton Lane, Austrey**

**Outline - residential development of 5 dwellings, parking & new access, for**

**Mr Raymond Davies**

**The Site**

The site is a roughly L shaped parcel of land which forms part of the rear garden of the property known as Manor Court, Warton Lane. The site fronts Newton Lane at a position adjacent to Manor Croft, and extends to the rear of Manor Croft.

The site is shown below. Taken from Newton Lane with Manor Croft to the left hand side. It contains a number of substantial trees.



The site adjoins the land that comprises application number PAP/2014/0446. The photograph below shows the existing access to Newton Lane looking towards the neighbouring application site beyond the post and rail fence.



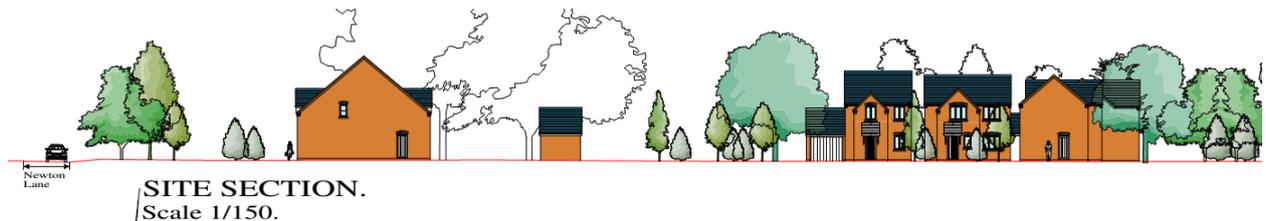
The end of the cul de sac of Yew Tree Court lies to the east and trees on the application site are visible from Yew Tree Court.

### The Proposal

An outline application for the residential development of 5 dwellings with parking and a new access. The application seeks approval of the details of means of access, appearance, layout and scale. The proposed layout is shown below.



A section showing the proposed housing is below:



The development would comprise a mix of 3 (3x) and 4 (x2) bedroom detached properties.

## **Consultations**

Warwickshire County Council Flood/Drainage Advisor – Objection. There are known flooding issues in the vicinity of Newton and Warton Lane areas and therefore we would expect a Flood Risk Assessment/Drainage Strategy to be submitted as of the planning application demonstrating how surface water run-off is to be managed on site and how the development will not increase the risk to flooding elsewhere.

At outline planning stage we do need to have clarity on the preferred method of drainage, a correct estimate of the required storage on the site that takes into account all positively drained areas within the site and a point of discharge of the surface water drainage network.

Environmental Health Officer – Expresses concerns relating to noise. This development is relatively close to the existing M42 motorway and the proposed HS2 railway. Although figures have not been released relating to the predicted noise from HS2, and an assessment of the current noise levels has not been carried out, he suggests that a precautionary approach to potential noise disturbance is applied and recommends that acoustic double glazing and acoustically treated ventilation is incorporated into habitable rooms in the proposed dwellings should permission be granted. Details of this will need to be submitted for approval by the local authority prior to construction.

Warwickshire County Highways Authority – Objection. It has not been demonstrated that the vehicular access to the site is suitable for the purpose intended, that the site can be serviced in accordance with guidance, the proposed development is not considered to be sustainable and does not provide suitable pedestrian links, pedestrians should not be sharing road space, especially where lighting is poor, carriageway widths are narrow and the priority is for vehicle movements, the proposed parking provision and layout is not considered suitable for the purpose intended and it has not been demonstrated that the visibility splays can be maintained.

Warwickshire County Museum (Archaeology) – Shallow ridge and furrow across this site suggests that the application site once formed part of the open fields associated with Austrey. Analysis of historic mapping, and earthworks to the south-west of Headlands suggest that the focus of the medieval and later settlement in this area was to the immediate south of the application site (Warwickshire Historic Environment Record MWA 9490). While few remains pre-dating the medieval period have been identified from the vicinity of the site, this may reflect a lack of previous investigations across this area, rather than a lack of archaeological remains. There is therefore a potential for the proposed development to disturb archaeological deposits pre-dating the medieval and later agricultural use of this area. The Archaeologist does not wish to object to the principle of development, but does consider that some archaeological work should be required if consent is forthcoming.

Severn Trent Water – No comments

## Representations

Two letters have been received raising the following concerns:

- The site exits on to a narrow country lane where it is difficult for two cars to pass. The additional traffic would cause a hazard.
- Existing sewage provision and the electricity sub-station are inadequate.
- There is a known flooding problem in the vicinity.
- Austrey is a rural village with very limited facilities for this type of housing, a minimal bus service, no doctor or dentist, one primary school and only one village shop.

## Observations

### Housing Need and Housing Land Supply

Policy NW2 of the Core Strategy sets out the Settlement Hierarchy in the Borough indicating the type of development that will be suited to different categories of settlements. Development in Newton Regis (a Category 4 settlement) will be limited to that identified in the Core Strategy or has been identified through a Neighbourhood or other locality plan.

Whilst a small part of the application site lies within the identified development boundary for Austrey, the largest part of it lies outside of the development boundary. It is not an allocated site for housing in the Site Allocations Plan (Draft Pre-Submission June 2014) and it is not put forward in the first consultation draft of the Neighbourhood Plan as land allocated for housing. In these circumstances, there is an argument to suggest that the development is contrary to the provisions of Policy NW2 of the North Warwickshire Core Strategy 2014.

The applicant's agent disagrees with that argument. He points that the Core Strategy (CS) explanatory text to Policy NW2 indicates that it allocates strategic housing numbers but does not give specific locations as these will be determined either through Area Action Plans or Neighbourhood Development Plans prepared by the various Parish Councils. The CS states changes to development boundaries will be made in the appropriate Development Plan Document or once development has taken place, whichever is the earlier. As confirmed by the Newton Regis appeal it is not expected that sites would come forward that would be larger than 10 units at any one time in the Category 4 settlements so the growth is organic and naturally sustainable.

He further argues that the situation over the last seven years has been that the LPA has persistently failed to meet the requirements of the Local Plan completions figure since 2006 to 2011, confirmed in recent appeal decisions. To be included in the 5 year supply sites need to be deliverable and available now. He takes issue with the LPA figures including LIP sites and allocations that have yet to secure planning permission. In these circumstances he considers that it is reasonable to allow for a 10% discount on such sites to factor in the inevitable delays on completion that will occur in respect of these sites over the next 5 years. With the 10% discount applied the 5 year figure is closer to the 5.7 years as reported in the October 2014 planning committee agenda.

Given this fact and that the Site Allocation Document and Austrey Neighbourhood Plan are in draft only and carry little or no weight, he argues that the Manor Court scheme is available and deliverable and adheres to the policy objective of NW4 by delivering organic and sustainable growth to the village. In accordance the CS, changes to the development boundary can be made in the appropriate Development Plan Document once the development has taken place.

The quote from the explanatory text is correct but it needs be read and interpreted in the context of the policy. The settlement hierarchy identifies that development in Category 1 settlements will be accommodated 'in or adjacent to the market towns', similarly, Category 3A settlements will development will be accommodated 'in or adjacent to development boundaries', yet it states that in Category 4 settlements 'development will be limited to that identified in the plan or has been identified through a Neighbourhood or other locality plan'. The inference is that unless identified in another plan would not be approved outside a development boundary but it does not expressly say that no development will be permitted beyond the development boundary in Austrey.

Policy NW5 indicates that Newton Regis will cater for a minimum of 40 units, usually on sites of no more than 10 units. It does not expressly require that these shall be within the development boundary. Indeed, it is acknowledged through the SAP and NP that this cannot be accommodated within the village as adjacent land is allocated.

In these circumstances it would be unreasonable to conclude that the development boundaries are absolutely sacrosanct in Category 4 settlements and it would be appropriate to assess whether there are any material considerations which could weigh in favour of the grant of a permission, in furtherance of NPPF guidance which indicates that there is a presumption in favour of sustainable development

The circumstances of this case are such that there is some substance to the applicant's argument in respect of the small scale and location of the application proposal. Whilst the site is mostly outside of the identified development boundary, it is partly within and wholly adjacent to the existing built form and can reasonably be argued to be organic and sustainable growth. It proposes only 5 dwellings and would sit adjacent to existing residential development and would be contained by an existing roadway. The land has an existing quasi residential character.

Though the Council stands by its up to date assessment of the current housing land supply, it is acknowledged that the housing numbers for Austrey are minimum, rather than maximum, numbers and that the grant of small scale additional numbers through windfalls will help the achievement of housing delivery.

### Trees

There are some significant trees at the site. The scheme has been revised to ensure they can be retained, though there will be some loss of less significant trees.

### Highway Safety

Though there is no objection concerning the scale of traffic generated or its impact in capacity terms, the highway authority maintains a detailed objection to the application. The applicant is currently actively working towards a solution. This matter will be updated when the application is reported for determination.

## Archaeology

There is no in principle opposition to the development of this site for the reasons given above. The use of a planning condition would be appropriate.

## Drainage and Flooding

Given the known flooding issues in the northern part of Austrey the applicant was required to submit a drainage strategy. It is still awaited and will be the subject of re-consultation with the Warwickshire County Council Flood/Drainage Advisor.

Severn Trent Water does not object on the grounds of additional sewage load.

## Affordable Housing

The applicant has submitted an affordable housing viability statement (using the methodology outlined in the Affordable Housing Viability report) and proposes a financial contribution towards the off-site provision of affordable housing (£9,660).

## Open spaces/Play Space/Community Benefit

The applicant has indicated an intention to address this requirement as a financial contribution for off-site provision.

## Ecology/Bio Diversity and Landscape Character

Though the development would result in some loss of hedgerow and some tree cover there is opportunity within the site to secure mitigation. This can be secured by condition.

## Amenity and Design

The development can be accommodated without undue harm to the amenity of occupiers of adjacent properties. Though the adjacent bungalow contains large windows in the gable elevation adjoining the site, the scheme layout has been altered to position the proposed frontage dwelling at the opposite side of the site such that the new access road and a landscaped border being closest to the bungalow.

Each new dwelling would have adequate private amenity space and adequate off-street car parking.

The scale and design of the dwellings are appropriate and will not cause harm to the character or appearance of the edge of settlement.

## **Recommendation**

1. That Board resolves to visit the site ahead of considering a determination report in respect of this application.
2. That the Board be invited to identify any key issues material to the application that it wants to be addressed by the applicant.

3. That the Board is MINDED TO SUPPORT the application subject to resolution of the outstanding highway and drainage objections and subject a S106 Agreement covering affordable housing and off-site play space/openspace.

## BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2014/0433

Background Paper No	Author	Nature of Background Paper	Date
1	The Applicant or Agent	Application Forms, Plans and Statement(s)	12 8 14 15 9 14 17 10 14
2	Landscape Manager	Consultation Reply	28 8 14
3	D Rowse	Representation	5 8 14
4	D E Fullerton	Representation	10 9 14
5	Warwickshire County Council Flood/Drainage Advisor	Consultation Reply	10 9 14
6	Applicant's Agent	Email	11 9 14
7	Applicant	Letter	12 9 14
8	Environmental Health Officer	Consultation Reply	18 9 14
9	Warwickshire County Museum (Archaeology)	Consultation Reply	3 10 14
10	Severn Trent Water	Consultation Reply	20 10 14
11	Applicant's Agent	Emails	22 10 14 24 10 14

*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*



**(4) Application No: PAP/2014/0520**

**Land North of, Eastlang Road, Fillongley,**

**Residential development comprising of houses and bungalows including associated highways, external works, landscaping and boundary treatments, for**

**Mr James Cassidy - Cassidy Group UK**

**Introduction**

The receipt of this application was referred to the Board for information in October last year. A copy of that report is attached at Appendix A for convenience. It describes the site and the proposal as submitted along with summarising its supporting documentation. Relevant Development Plan policies are also included.

Since the Board considered the initial report, Members have visited the site. Additionally there have been changes to the planning circumstances surrounding the case with the receipt of amended plans and the publication of other Government guidance particularly that on the provision of affordable housing. The Board will be brought up to date in this current report.

Moreover as set out in Appendix A, should the Council be minded to support the proposals, the case would need referral to the Secretary of State to see if he wishes to determine the application himself. The Council can refuse the grant of planning permission without referral.

**Amended Plans**

The applicant has submitted amended plans during the course of this application in order to address matters raised by the Highway Authority. The amendments do not materially alter the proposal and are more minor alterations to the layout. They include:

- internal re-alignment of the layout as a consequence of the re-positioning the public footpath presently crossing the site, so as to align with its route on the definitive public rights of way plan.
- Engineering alterations to the geometry of the turning areas to accommodate highway standards.
- Removal of the footpath link onto Church Lane

A copy of the most up to date layout is attached at Appendix B and the proposed street scenes are at Appendix C.

## **The Proposals**

As a consequence it is perhaps useful at this point to summarise the proposal. It is for a development of 27 dwellings. Six of these would be sold on the “open market” - three and two bedroom bungalows - but the developer would first offer these to local residents over a four month period. Eleven would be “affordable” as low cost home ownership homes - two bedroom bungalows; two, three and four bedroom houses - offered to residents who have expressed an interest through the housing needs survey. If not fully taken up then they would be offered to other people known to the Council’s housing officers first in neighbouring parishes then wider afield. The remaining ten would be affordable rented property – two and three bedroom bungalows and two bedroom houses - and sold directly to a housing association recommended by the Borough Council. These arrangements would be secured through a Section 106 Agreement.

The maintenance of the public open space throughout the development and the balancing pond would be undertaken privately by a resident’s management company. Again this would be secured through the Section 106 Agreement.

Copies of the January and June 2014 Housing Needs Surveys are copied are copied at Appendices D and E.

A copy of the Report following the applicant’s Public Consultation Events is attached at Appendix F.

## **Other Material Planning Considerations**

In late November 2014, the Government published further guidance on the provision of affordable housing in its publication, “Planning Contributions (Section 106 Planning Obligations)”. Members will recall that this refers to Local Planning Authorities no longer being able to require the provision of affordable housing either on-site or through alternative off-site contributions when development proposals involve ten or less dwellings. Whilst this is not the case here, it does however have a material consequence on the consideration of this application which will be dealt with later.

## **Consultations**

Warwickshire County Council as Highway Authority – Originally objected to the proposal on detailed layout matters within the site, but upon receipt of amended plans, the objection has been withdrawn subject to the imposition of standard conditions.

Environment Agency - No objection

Warwickshire County Council as Lead Flood Authority – No objection subject to conditions

Severn Trent Water Ltd - No objection subject to a standard condition

Warwickshire County Council (Public Footpaths) – Public footpath M349 crosses the site. Whilst the development proposes retention of this, the layout should accommodate the definitive line of the path rather than the “casual” line that is presently walked. The amended plans do so.

Environmental Health Officer – No objection subject to conditions requiring a site investigation; a protocol for ensuring that run off from the site does not pollute the brook course to the north and evidence that imported soils are not contaminated.

National Grid – There is a requirement for a 3 metres easement either side of an 11Kv line. The proposals show 6 metre distance either side.

The Council's Housing Officer – The Housing Survey was analysed by the Council and the figures as set out therein. It confirms that there is a "real demand within Fillongley to get on the home ownership ladder with open market and low cost home ownership being the top two choices coming through the survey results". There is support for the proposal.

The Council's Landscape Manager – Confirms that private arrangements for maintenance of the balancing pond and open space will be acceptable.

## **Representations**

Twenty five objections have been received and the grounds referred to include:

- This is Green Belt land
- There is no need for additional housing
- The survey is "biased", undertaken by the applicant without involvement of the Parish Council.
- Flooding issues in the village will be worsened
- There has been historic clay extraction locally with back filling of waste.
- Eastlang Road is already congested and cannot take more traffic.
- Emergency vehicles will not be able to enter the road
- There are no local facilities.
- Local wildlife on the site would be lost
- Loss of privacy and impact of the use of the open areas on amenity
- Loss of sunlight to the recently built houses and consequent loss of amenity.

The Fillongley Parish Council objects to the proposals on the following grounds. The letters of objection are attached at Appendix G.

- The Core Strategy allocates 30 houses to Fillongley. Fifteen have already been permitted and the Draft Site Allocations Plan recommends sites for a further 8. This leaves 7. These could be accommodated through windfall developments such as conversions without the need to build on Green Belt land.
- The Housing Needs Survey accompanying the application and said to provide the evidence to support the Local Housing Need is flawed. It was commissioned by the applicant; not properly distributed, with the wrong questions asked. There are also existing properties to let in Eastlang Road.
- Concern that objections are not being recorded.
- The Core Strategy says no building on Green Belt land.
- The proposed pedestrian access to Church Lane is unsafe because it is on to a blind bend.

## **Observations**

There are a number of issues to deal with here. It is first proposed to look at the main planning policy matter – that of the Green Belt, before exploring the other development considerations.

### **a) The Green Belt**

The site is in the Green Belt. The NPPF states that the erection of new buildings here is not appropriate development. As such the proposal is by definition harmful to the Green Belt and as a consequence there is a presumption of refusal. However this does not translate into an automatic refusal as the NPPF also includes a number of exceptions whereby new buildings can be treated as being appropriate development. It is thus necessary to assess the application against these definitions.

Only one of these exceptions would apply to this proposal, namely where the development is, “limited infilling in villages, and limited affordable housing for local community needs under policies set out in the Local Plan”. It should be noted that the definition here contains two elements – limited infilling in villages, and secondly, limited affordable housing. Either therefore might apply. It is not agreed with the applicant that the proposal represents limited infilling in a village. The site is outside of the development boundary as defined by the Development Plan and thus is outside of the village not within it. Moreover the development is not “limited”. It amounts to new houses and bungalows throughout a 1.3 hectare site. Moreover there would still be open land around two of its three sides if it were developed. It should more properly be described by fact and by degree as an extension of the village. This part of the exception is not therefore satisfied.

The second part of the definition is however applicable here. The applicant is arguing that the proposal is for affordable housing; that it is for community needs as evidenced by the Housing Needs Surveys and that the development is limited as it reflects just that need and no other. There is weight to his argument. The Development Plan, notwithstanding the Parish Council’s comment, specifically states that outside of the named settlements then, “Only affordable housing where there is a proven local need and it is small in scale and does not compromise important environmental assets” may be allowed – Policy NW5 of the 2014 Core Strategy. This again adds weight to his argument. Moreover the recent Government guidance on affordable housing provision makes it clear that it should not be sought on sites of ten houses or less. The preferred site allocations in Fillongley, as set out in the Council’s own draft documents are small and when considered with other potential windfall developments, it is highly likely that affordable housing would be difficult to deliver within the settlement, certainly to the degree set out in the Housing Needs Survey. This again adds weight to the applicant’s argument. Hence there is significant weight here to the probability that this proposal would satisfy this part of the definition and thus would amount to appropriate development in the Green Belt.

## **b) Housing Needs Survey**

However before that conclusion is actually reached, there are some issues which need to be explored. The first of these is the very evident “mistrust” by the Parish Council in the Housing Needs Survey - both in how it was carried out and in its conclusions. The whole essence of the definition of this Green Belt exception is that a housing proposal is based on local community needs. The Parish Council doubts the integrity of the submitted Survey and therefore the level of that need. This matter does require resolution because the scale of that need directly should translate into the scale of a development proposal. If that need is perceived as exaggerated then the scale of the development is therefore questioned.

Secondly, the Government has stressed through ongoing guidance that Green Belt protection is highly important. This is reflected in the spatial objectives and policies of the Core Strategy. The presumption of refusal for inappropriate development in the Green Belt is thus emphasised at national and local level. If there is reasonable doubt about the evidence upon which an exception to the presumption of refusal is to be made, then that should require resolution prior to a determination.

The issue is whether there is reasonable doubt about the Housing Needs Surveys.

A Housing Needs Survey was first undertaken in the Parish in late 2013 with its findings made available in January 2014. This was a postal survey undertaken by the Council’s Housing Officers following consultation on its’ content with the Parish Council. Its conclusions showed an explicit need for 10 units of accommodation (rented and shared ownership two-bedroom houses and bungalows) from respondents who left contact details, but a potential need from up to a further 40 people who did not leave contact details. Due to the size of this “unknown” need, it was decided to repeat the survey. This was undertaken and the conclusions published in June 2014. The Council’s Housing Officers agreed the questions and the Parish Council was notified that the second survey was to be carried out. The questions were different to the earlier one because it was known that the current applicant was going to submit a planning application on the Eastlang Road site and by referencing this site in the questionnaire it was considered that residents would be more likely to respond if they saw a potential outcome. The applicant hand delivered the survey. There were over 40 respondents who left contact details and when followed through, this translated into the scope and mix of the planning application’s proposals.

The Parish Council has issues with this second survey.

Firstly the Parish says that some households did not receive questionnaires. It is accepted that this may be the case as some were left in remote post boxes. However there appears to be no evidence from the Parish Council or indeed from residents that this amounted to a substantial omission which would have invalidated the overall general findings. Members are directed to the findings of the first survey which gave rise to an explicit need for 10 units of accommodation but that up to a further 40 contacts were unknown, and thus the need was likely to be greater than the ten. This was the case with the second survey. Housing Officers were able to contact over 40 people as a consequence and to discuss housing need, resulting in an explicit increased need for 27units. If there were serious delivery omissions, the second survey would have been unlikely to show that explicit increase which was generally recorded with the first survey.

Secondly, there is concern that questionnaires were freely available at the public consultation event and that there might therefore be “double” counting in the final returns. It is accepted that some households may have taken more than one questionnaire but again there is no evidence to suggest that this is of such a scale to invalidate the findings. This is for two reasons. Firstly all the returns with contact details were followed through by housing officers and thus “double” counting would have been removed, and secondly, it was the case that there were two different “needs” in some single households. This is quite reasonable and to be expected.

Thirdly there is concern that the applicant delivered the survey forms. This is true but the circulation was overseen by Housing officers. Referring back to the first point above – there is no evidence that there were substantial omissions, and secondly that all residents had a further opportunity to comment because of the second public consultation event held in the village after the second survey.

Fourthly, there is concern that there are already vacant Council properties in the village that could be used. These Council properties in short do not match the nature and type of all of the housing needs arising from the survey. Housing officers would not allocate property that didn’t match housing needs. As can be seen from the consultation response above, the overriding need in Fillongley is not for rented accommodation.

Fifthly, there is concern that by referencing the application site there was a presumption that a planning permission would be forthcoming regardless of the Green Belt designation. The whole focus of the questions asked in the second questionnaire is based on identifying “need”. The one question about the site asks whether the application site is a “suitable location” to accommodate identified housing needs. 42 responses said “yes” (57%), 29 said “no” (43%). There is no reference in the question to its Green Belt location. Moreover respondents were replying on their housing needs not on planning policy. The 57/43 split above shows that there was still concern about the “suitability” of the site thus reflecting the Parish Council’s concern to some extent.

Finally, there is concern about the responses in the second survey not being properly reported to the October Board meeting. In order that this criticism can be answered, both Surveys have been appended in full to this report – Appendices D and E. Members are able to familiarise themselves with these before the meeting. The Public Consultation Report is also attached at Appendix F. It is worth commenting on this report. The second consultation event took place in August last year – after the second Housing Needs Survey. That event included the applicants’ interpretation of the housing needs, as explicitly illustrated in the plans exhibited. The consultation form requesting written responses again does not refer to the site being in the Green Belt. It is reasonable too to say that the Housing Needs Survey was explicitly focussed on housing need, not the planning merits of the site. The Consultation event was aimed at a wider audience and planning merits were far more likely to emerge from this event. However the full content of the 12 written responses is included in the report (Appendix F) and there is very little reference if any, to Green Belt issues. For completeness Appendix F also includes the written responses (42) from the first public consultation event. That showed a plan for 37 dwellings – different, larger scheme. It is agreed that those written responses refer to the Green Belt issue more often than in the responses to the second survey.

The matter of the housing needs has been dealt with at length in this report due to its significance in the assessment as to whether the proposal is appropriate or not appropriate development in the Green Belt. It has been necessary too, to respond to criticism of the evidence base. As can be seen from the consultation section above, and indeed the content of this section of the report, the Council's Housing Officers are satisfied that the Survey results are robust and can be relied upon. This is based on the actual verbal contact that they have had with all of the respondents. As such the survey can be given substantial weight here. Whilst the criticisms of the Parish Council are understood there is no overriding evidence to suggest that the evidence base is significantly "at risk" such that it cannot be relied on.

In these circumstances therefore it is concluded that the development is appropriate development in the Green Belt as defined by the exception in the NPPF.

### **c) Other Harm**

The Board still has to consider whether the development as proposed would cause "other harm" in the terms of the NPPF which might be of sufficient weight to override the conclusion on appropriateness as reached above. There are three main issues here.

The County Council as highway authority has been consulted on the layout of the site and has recommended alterations in order to accommodate engineering standards. Amended plans have resulted in this element of the highway issues being agreed subject to conditions. The main highway concern as expressed by local residents has been the capacity and adequacy of Eastlang Road itself. This has been due to its width and to the amount of existing on-street car parking. These particular matters were drawn to the attention of highway officers, and visits were made at different times of the day. However the County Council does not object to the proposals. It says that the visibility at the junction of Eastlang Road and the Coventry Road meets standards; that traffic speeds in the road are low, that on-street car parking is not affecting traffic flow, that traffic generation will not be significant and that the development proposals provide for 200% car parking provision. The County Council's position as the statutory highway authority carries substantial weight here and would be heavily relied on in the case of any refusal based on this matter.

Secondly, neither the Environment Agency nor the County Council as Local Lead Flood Authority object to the proposals as they involve on-site attenuation measures – particularly the balancing pond and the larger areas of open space – subject to conditions.

Thirdly the design and appearance of the development reflects a rural character and the inclusion of bungalows too, adds to the general perception of a low density and low rise development. The buildings are sufficiently distant from existing residential property to not lead to a material adverse impact on amenity through overlooking, loss of light or loss of privacy.

It is no considered that on the basis of this evidence that there is "other harm" of such significance as to outweigh the conclusions reached above in respect of the appropriateness of this proposal in the Green Belt.

## Recommendation

That the Council is minded to support the proposals subject to:

- i) the imposition of conditions as outlined below;
- ii) the completion of a Section 106 Agreement to include the matters raised below, and
- iii) referral of the case to the Secretary of State under the 2009 Direction.
- iv) Provided that there is no call by him to determine the case himself, then planning permission be granted.

## Conditions

### Standard Conditions

1. Standard Three year condition
2. Standard plan numbers condition – plan numbers 6662/50; 55B, 56B, 57A, 58A, 59A, 60B, 61A, 62A, 63A, 64A, 65A, 66B, 76A, 69A, 70B and 71 received on 30/9/14 and plan number 6662/52G received on 24/3/15.

### Pre-commencement Conditions

3. No development shall commence on site until full drainage plans for the disposal of surface and foul water have first been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall then be implemented on site.

REASON

In the interests of reducing the risks of flooding and pollution

4. No development shall commence on site until such time as a Phase 1 intrusive site investigation is undertaken on the site and the findings from that work have been submitted in writing to the Local Planning Authority. The findings shall also include measures to mitigate or remediate any contamination found as part of the investigation

REASON

In the interests of reducing the risk of pollution

5. No work shall commence on site until such time as any remediation and mitigation measures approved under condition (iv) above have first been completed to the written satisfaction of the Local Planning Authority through the submission of a written Verification Report. Development shall only proceed after written confirmation from the Local Planning Authority that the Verification Report is accepted.

REASON

In the interests of reducing the risk of pollution

6. In the event of contamination being found on site during construction which was not identified in the survey required in condition (iv), all work shall cease and only re-commence when agreed in writing by the Local Planning Authority.

REASON

In the interests of reducing the risk of pollution

7. No work shall commence on site until such time as a protocol has been submitted to and approved in writing for the management, during the construction period, of the run-off from the site into the unnamed water course running along the length of the northern boundary to the site, in order that this does not become a source of pollution to the water course. The protocol so approved shall remain in force until construction is complete.

REASON

In the interests of reducing the risk of pollution

8. No development shall commence on the construction of any dwelling hereby approved until such time as details of the source of imported soils for the development have first been submitted to and approved in writing by the Local Planning Authority. Only soils so approved shall then be used on site.

REASON

In the interests of reducing the risk of pollution.

9. No development shall commence on site until such time as detailed designs of the outfall pipe to the water course running along the north boundary of the site, from the balancing pond have first been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall then be implemented on site.

REASON

In the interests of reducing the risk of flooding.

10. No development shall commence on site until such time as full details of the maintenance regime for the balancing pond and its associated pipe-work and outfall, together with the areas of open space shown on the approved plan have first been submitted to and approved in writing by the Local Planning Authority. The maintenance regime thus approved shall remain in force at all times.

REASON

In the interests of reducing the risk of flooding.

11. No development shall commence on site until details of the boundary between the watercourse along the northern boundary and the proposed dwellings that back on to it have first been submitted to and approved in writing by the Local Planning Authority.

REASON

In the interests of reducing the risk of flooding.

12. No development shall commence on site until such time as full details of the facing materials and roof tiles to be used on site have first been submitted to and approved in writing by the Local Planning Authority. Only the approved materials shall then be used on site.

REASON

In the interests of the visual amenities of the area.

13. No development shall commence on site until such time as the measures to be implemented to ensure that the on-site affordable housing provision is ensured in perpetuity, in line with the type of house and type of tenure as shown on the approved plan, have first been submitted to and approved in writing by the Local Planning Authority. Only the approved measures shall then be implemented.

REASON

In order to meet the requirements of the Development Plan and ensure that the development remains as appropriate development in the Green Belt.

14. No development shall commence on site until such time as full landscaping details together with the measures to be introduced to enhance bio-diversity on the site, have first been submitted to and approved in writing by the Local Planning Authority.

REASON

In the interests of the visual amenities of the area.

**Pre-occupation Conditions**

15. No dwelling hereby approved shall be occupied until such time as the whole of the road layout and all of the access arrangements as shown on the approved plan have been completed in full to the written satisfaction of the Local Planning Authority.

REASON

In the interests of highway safety

16. Within one month of the new access being formed to Eastlang Road, the existing vehicular access into the site shall be permanently closed off and the public highway verge reinstated to the written satisfaction of the Local Planning Authority.

REASON

In the interests of highway safety.

17. No dwelling hereby approved shall be occupied until such time as the line of the public footpath M 349 has been provided in full as shown on the approved plan

REASON

In the interests of ensuring pedestrian connectivity.

18. No dwelling hereby approved shall be occupied until such time as the drainage measures approved under conditions (2), (4), (10) and (12) have all been implemented on site and approved in writing by the Local Planning Authority.

REASON

In the interests of reducing the risk of flooding.

**On-going Conditions**

19. Visibility splays measuring 2.4 by 25 metres shall be maintained at all times to the vehicular access to the site.

REASON

In the interests of highway safety

20. No ground levels shall be raised, nor material stockpiled within the flood plain on site.

REASON

In the interests of reducing the risk of flooding

21. Finished floor levels shall be set a minimum of 600mm above floodplain levels and a minimum 150mm above the immediate surrounding ground.

REASON

In the interests of reducing the risk of flooding.

22. All site levels shall be set so as to direct surface water flows away from the properties hereby approved.

REASON

In the interests of reducing the risk of flooding.

23. Each dwelling hereby approved shall retain two functional car parking spaces at all times

#### REASON

In the interests of highway safety.

#### Notes:

1. The Local Planning Authority has met the requirements of the NPPF in this case, through pre-application discussion; discussion on the content of consultation responses resulting in amended plans and full consideration given to the planning issues.
2. Attention is drawn to Sections 38, 149, 151 and 163 of the Highways Act 1980; the Traffic Management Act 2004, the New Roads and Street Works Act 1991 and all relevant Codes of Practice. The County Council can advise on these matters.
3. Attention is drawn to the need to secure the lawful diversion of public footpath M348 which crosses the site.
4. Attention is drawn to the Water Resources Act 1991 and to the Midlands Drainage Byelaws. Any works which affect the water course running along the northern site boundary will require separate consent from the Lead Local Flood Authority under the Land Drainage Act 1991 and the Flood and Water Management Act 2010. Advice should be obtained from the Warwickshire County Council.

#### Section 106 Matters

Heads of Terms to set out:

1. The measures to ensure that the affordable housing as approved for this site and as shown on the approved plan, is provided in perpetuity and that it is delivered so as to meet the housing needs of Fillongley as shown on the June 2014 Housing Needs Survey.
2. The measures to ensure the maintenance in perpetuity, of the balancing pond; all other sustainable drainage measures including associated storage, pip-work and outfalls together with the maintenance of the open space as shown on the approved plan.

## BACKGROUND PAPERS

Local Government Act 1972 Section 100D, as substituted by the Local Government Act, 2000 Section 97

Planning Application No: PAP/2014/0520

Background Paper No	Author	Nature of Background Paper	Date
1	The Applicant or Agent	Application Forms, Plans and Statement(s)	6/10/14
2	S Bullock	Representations	30/10/14
3	Fillongley Parish Council	Objection	4/12/14
4	Applicant	E-mail	5/12/14
5	Case Officer	E-mail	2/1/15
6	Applicant	E-mail	5/1/15
7	Applicant	E-mail	5/1/15
8	Case Officer	E-mail	6/1/15
9	Case Officer	E-mail	7/1/15
10	Case Officer	E-mail	9/1/15
11	Mr & Mrs Jensen	Objection	23/10/14
12	27 Eastlang Road	Objection	20/10/14
13	Mr & Mrs Hill	Objection	18/10/14
14	C Vaughan	Representation	18/10/14
15	Mr & Mrs Mason	Objection	27/10/14
16	P Goodchild	Objection	29/10/14
17	Mr Moore	Objection	28/10/14
18	R Lawson	Objection	31/10/14
19	C Evrall	Objection	4/11/14
20	M Carter	Objection	3/11/14
21	Fillongley Parish Council	Objection	3/11/14
22	M Culley	Objection	4/11/14
23	N Wright	Representation	3/11/14
24	S Bullock	Objection	3/11/14
25	I Vincent	Objection	3/11/14
26	Mrs Greenway	Objection	4/11/14
27	Mr & Mrs Savage	Objection	4/11/14
28	M Winterburn	Objection	28/10/14
29	G Manning	Objection	3/11/14
30	D Whiteford	Objection	3/11/14
31	F Pope	Objection	3/11/14
32	B Lawson	Objection	29/10/14
33	S Garrately	Objection	29/10/14
34	Mr & Mrs Robinson	Objection	6/11/14
35	S and P Thorpe	Objection	13/11/14
36	Environmental Health Officer	Consultation	22/10/14
37	Applicant	E-mail	23/10/14
38	WCC Footpaths	Consultation	5/11/14
39	WCC Highways	Consultation	5/11/14
40	Case Officer	E-mail	10/11/14

41	WCC Highways	E-mail	14/11/14
42	Applicant	E-mail	13/11/14
43	Applicant	E-mail	17/11/14
44	Severn Trent Water Ltd	Consultation	3/12/14
45	Landscape Manager	E-mail	9/2/15
46	Environment Agency	Consultation	17/11/14
47	Assistant Director Housing	Consultation	22/10/14
48	WCC Flood Risk Manager	Consultation	18/3/15
49	WCC Highways	Consultation	24/3/15
50	Applicant	E-mail	23/3/15

*Note: This list of background papers excludes published documents which may be referred to in the report, such as The Development Plan and Planning Policy Guidance Notes.*

*A background paper will include any item which the Planning Officer has relied upon in preparing the report and formulating his recommendation. This may include correspondence, reports and documents such as Environmental Impact Assessments or Traffic Impact Assessments.*



PAP/2014/0520 ✓

**Land north of Eastlang Road, Fillongley**

**Residential Development comprising 27 houses and bungalows including associated highways, external work, landscaping and boundary treatments for**

**Mr J Cassidy**

**Introduction**

This application is reported to the Board at this time for information. It will be referred to the Board for determination at a later date as there would need to be a Section 106 Agreement associated with any approval and because should the Council be minded to support the proposal, it would have to be referred to the Secretary of State under the 2009 Direction to see if he wishes to determine the application himself.

**The Site**

This is on the east side of Eastlang Road and extends to some 1.3 hectares of open green pasture used presently as a paddock, on the north-eastern side of Fillongley.

It is triangular in shape, generally flat but with a slight fall from east to west. To the north the boundary is marked by mature trees and hedgerows, beyond which lies an un-named stream/brook and the Fillongley park/recreation ground in which there is a car park, changing facilities and a children's play area. To the east, the boundary is also a hedge line with trees and pasture land beyond. To the south are the Fillongley Community centre, a collection of older persons bungalows as well as residential development fronting both sides of Eastlang Road before its junction with the Coventry Road some 150 metres away. To the west is Church Lane which again has residential properties fronting either side of the road. There are some high voltage overhead lines running through the southern tip of the site.

It is more particularly illustrated at Appendix A.

**The Proposals**

It is proposed to construct 27 dwellings on the site with all vehicular access off Eastlang Road, and an additional pedestrian access onto Church Lane.

21 of the dwellings would be affordable units – defined by the applicant as being low cost home ownership and for affordable renting. These would consist of thirteen two and three bedroom houses; 2 four bedroom houses, 5 two bedroom bungalows and 1 three bedroom bungalow. The market houses would be six, two and three bedroom bungalows. The parking provision is 200% - two spaces for each unit. All of the houses would be two-storey.

Vehicular access is proposed off Eastlang Road leading into a cul-de-sac with two arms. There would be a mix of houses and bungalows throughout the site. Two areas of public open space are proposed, one in the southern corner and the other alongside the pedestrian access onto Church Lane.

The overall layout is shown at Appendix B with street scenes at Appendix C.

There is a significant amount of supporting documentation submitted with the application, and the various reports are summarised below.

A Tree Condition Survey identifies that there are several semi-mature and mature trees within the sites boundaries with an important group alongside the banks of the stream running along the northern boundary. No tree represents a major constraint because of the low density and the fact that the proposed dwellings and associated infrastructure are to be located away from the site boundaries. Suitable protection measures will however be needed.

A Protected Species Survey describes the site and existing habitats. There are no national, regional, local or potential wildlife designations affecting the site or its locality. Survey work showed no signs of amphibians, water voles, otters or reptiles, but the habitat to the north – particularly the stream and its banks - has potential and should be retained. No evidence of bats or badgers was found but further survey work is needed for the presence of great crested newts. The report recommends that the northern boundary is retained in as natural a form as possible so protecting trees, hedgerows and the stream banks themselves. Further landscaping should be considered within the site to enhance bio-diversity.

A Ground Conditions Survey concludes that there is a low environmental risk in developing the site and thus only limited further investigation would be advisable.

A Flood Risk Assessment concludes that there is no overall objection subject to sustainable drainage measures being incorporated into the layout and the design. Appendix D is a copy of the conclusions.

A Utilities and Infrastructure Assessment attaches a number of responses from a variety of infrastructure providers. Severn Trent Water say that there should not be an issue with use of the existing drainage infrastructure to accommodate both foul and surface water drainage as well provision for a water supply, provided that sustainable drainage measures are incorporated into the design. No objections are included from gas and electrical agencies.

A Sustainability Assessment reviews a number of relevant factors concluding that the site is sustainable given its location on the edge of Fillongley which has a range of services within walking distance. The assessment also concludes that the development would help the local economy as well as providing a wide range of quality homes that are well-designed and that would meet at least Code level 3 for sustainable homes, as well as provide sustainable drainage measures.

A Transport Assessment describes the site and the surrounding highway network pointing out that Eastlang Road is an adopted highway with street lighting and footpaths. The range of services and facilities in the village are identified – village store; primary school, public houses, a medical practice, village hall and recreation facilities. These are close to the site and within walking or cycling distance. The village has regular bus services into Coventry and Nuneaton. The Assessment calculates that over a twelve hour day the development would generate some 126 movements with most movements occurring the peak hours – up to 16 movements. It is said that in pre-application discussion with the Highway Authority that it would have no objection.

A Fillongley Housing Need Questionnaire has been submitted which shows an 11% response to 648 questionnaires delivered in the village. The applicant concludes that this shows a demand for open market and low cost home ownership options with some demand for bungalows.

A Public Consultation Report summarises two local events in the village. The first on May 2014 attracted 90 visitors. 48 responses were received which were said to support the proposed development. A further event was held in August 2014 with 29 attendees and 12 responses with the majority said to support the proposals. The responses from the two events are also said to have influenced design, appearance and the tenures now being proposed.

A Design and Access Statement describes the location and setting of the site and how these matters have influenced the proposed layout and appearance of the houses also drawing on local features in the area.

A Planning Statement draws on the conclusions reached from all of the above documentation and puts it into planning policy context. The NPPF is outlined in full with the conclusion that the proposal is consistent with the approach set out therein. The applicant identifies those policies from the 2006 Local Plan and the Submitted Version of the Core Strategy which he thinks are relevant. The site is in the Green Belt but he argues that the development is appropriate as it falls within one of the NPPF's exceptions – namely that it is limited infilling and provides affordable housing for local community needs. His overall conclusion is that the proposal is sustainable development providing locally affordable housing, and assisting the Council in meeting its five year housing supply without significant or demonstrable adverse impact.

#### **Development Plan**

Saved Policies of the North Warwickshire Local Plan 2006 – Core Policy 2 (Development Distribution); Core Policy 3 (Natural and Historic Environment), ENV1 (Protection and Enhancement of Natural Landscape), ENV2 (Green Belt), ENV4 (Trees and Hedgerows), ENV6 (Land Resources), ENV8 (Water Resources), ENV11 (Neighbour Amenity), ENV12 (Urban Design), ENV13 (Building Design), ENV14 (Access Design), HSG2 (Affordable Housing), HSG3 (Housing Outside Development Boundaries) and TPT6 (Vehicle Parking)

The North Warwickshire Core Strategy 2014 – NW1 (Sustainable Development); NW2 (Settlement Hierarchy), NW3 (Green Belt), NW4 (Housing Development), NW5 (Split of Housing Numbers), NW6 (Affordable Housing Provision), NW10 (Development Considerations) and NW12 (Quality of Development)

#### **Other Material Planning Considerations**

The National Planning Policy Framework 2012 – the "NPPF"

The National Planning Practice Guidance 2014

#### **Observations**

The site is wholly in the Green Belt. The Board will first have to assess whether the proposal is inappropriate or not inappropriate development in the Green Belt using the definitions in the NPPF. If it is found to be inappropriate then the presumption is one of refusal unless there are material

planning considerations to amount to the “very special circumstances” of such weight to override the harm caused by that inappropriateness. Whilst the applicant considers that his proposal is not inappropriate he does suggest what those material circumstances might be – meeting a local affordable housing need; assisting the Council’s five year housing supply, it being sustainable development and that there are no significant or demonstrable adverse impacts. The Board will need to explore all of these issues.

**Recommendation**

That the application be noted.

Background Papers

Application 6/10/14

<p><b>History</b></p> <p>1 - The original M&amp;P was not scaled.</p> <p>2 - The original M&amp;P was scaled to fit the site.</p> <p>3 - The original M&amp;P was scaled to fit the site.</p> <p>4 - The original M&amp;P was scaled to fit the site.</p> <p>5 - The original M&amp;P was scaled to fit the site.</p> <p>6 - The original M&amp;P was scaled to fit the site.</p> <p>7 - The original M&amp;P was scaled to fit the site.</p> <p>8 - The original M&amp;P was scaled to fit the site.</p> <p>9 - The original M&amp;P was scaled to fit the site.</p> <p>10 - The original M&amp;P was scaled to fit the site.</p> <p>11 - The original M&amp;P was scaled to fit the site.</p> <p>12 - The original M&amp;P was scaled to fit the site.</p> <p>13 - The original M&amp;P was scaled to fit the site.</p> <p>14 - The original M&amp;P was scaled to fit the site.</p> <p>15 - The original M&amp;P was scaled to fit the site.</p> <p>16 - The original M&amp;P was scaled to fit the site.</p> <p>17 - The original M&amp;P was scaled to fit the site.</p> <p>18 - 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Type	Style	Area	Number
<b>Site Schedule</b>			
<b>Outright Sale (OS)</b>			
A	3 bedroom bungalow	80m <sup>2</sup>	2
B	2 bedroom bungalow	57m <sup>2</sup>	4
<b>Subtotal</b>			
<b>Low Cost Home Ownership (LCHO)</b>			
B	2 bedroom bungalow	57m <sup>2</sup>	3
G	2 bedroom house	67m <sup>2</sup>	4
D	3 bedroom house	82m <sup>2</sup>	2
F	4 bedroom house	110m <sup>2</sup>	2
<b>Subtotal</b>			
<b>Affordable rent (AR)</b>			
B	2 bedroom bungalow	57m <sup>2</sup>	2
G	2 bedroom house	67m <sup>2</sup>	7
E	3 bedroom bungalow	75m <sup>2</sup>	1
<b>Subtotal</b>			
<b>Total Outright sale</b>		<b>10</b>	
<b>Total Affordable contribution</b>		<b>6</b>	
<b>Total</b>		<b>16</b>	
<b>Public Open Space</b>		<b>3479m<sup>2</sup></b>	







# North Warwickshire Borough Council

## FILLONGLEY HOUSING NEEDS SURVEY

Prepared in partnership between Fillongley  
Parish Council, Fillongley Neighbourhood  
Planning Committee and North Warwickshire  
Borough Council

January 2014

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Planning Context	6
Survey Results	7
Appendix A – Residents Comments	18
Appendix B – Properties for sale and rent	28
Contact Details	29

## Summary of Results

648 forms were distributed throughout the village and we received a return rate of 120 forms. This equates to a response rate of 18.5%.

This is the second housing needs survey that has been completed in the village and the results of the last survey that was carried out in 2009 by Warwickshire Rural Community Council showed a need for 13 properties, although 3 of the responses were discounted and the rest were broken down as follows:

### Rented

5 x 2 bed houses

### Shared Ownership

2 x 2 bed houses

3 x 2 bed bungalows

This housing needs survey is vastly different to the last one that was carried out as this has been done as part of a Neighbourhood Plan which not only looks at the here and now, but also at what may be needed within the next 20 years within the village.

43 returns have expressed the following needs, but have not left any contact details on their forms, so I am unable to verify their needs. When looking at the figures, we need to bear in mind that people will have multiple needs:

Question	Answer
Your home is not the right size for your current needs	4
Your home is not the right size for	18

your future needs	
You will need smaller accommodation within the next 20 years	34
You will need smaller accommodation for a relative within the next 20 years	2
You have family/dependents who need housing	6
You know of someone who works in Fillongley, but cannot afford to live there.	7

Housing data that has come through as a result of the survey is as follows:

- Would like to purchase a 4 bed large detached house with a double garage
- Has a son who would like to get on the housing ladder. He would like a 2 bed house on a low cost home ownership basis.
- Has an employee who would like to live within the village and would like a 3 bed house.
- Elderly couple looking to downsize, would like a 2-3 bed cottage
- 3 bed house with land/outbuildings to support business. Either Low Cost Home Ownership, Shared Ownership or Rent, but would really like to buy.
- Elderly parent looking for 2 bed bungalow
- Brother looking to buy 2-3 bed house under Low Cost Home Ownership
- 2 bed bungalow to buy or rent

- Would like to buy a 2 bed house with a large garage/workshop.
- Would like to downsize to a 2 bed house/bungalow which they would like to buy.
- 2 bed bungalow to rent with on-site parking for 1 car.
- Would like to buy a bungalow with 2/3 bedrooms
- Looking to buy a 2 bed bungalow with possible warden support.
- Have a teenager who is unlikely to be able to afford to live in Fillongley in the future due to the cost of housing and transport.
- Would like a smaller property with 2 bedrooms with a small low maintenance garden.
- I have a stepson and his family who need a starter home to buy to help them get on the housing ladder.
- Need to downsize from a 4 bed house within the next 20 years. Also have parents who would like to live nearer to us and they would need a small 2 bed property.
- Husband and I are in our low 70's and I was born in Fillongley, but our house is getting too big for us. Like a lot of other elderly people, I would now like to buy a 2 bed bungalow in the area with warden assistance if possible and release a larger house for a younger family. I would also be prepared to rent.

*Whilst there is some real need within the data supplied, we also have to be aware that some of the data is a desire rather than a need as the housing market in Fillongley is not catering for all housing aspirations within the village.*

## Planning Context

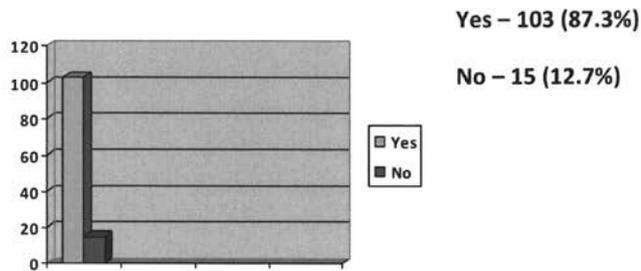
Fillongley village is centred on the crossroads of the B4102 (which connects Solihull to Nuneaton) and the B4098 (connecting Coventry to Kingsbury) and Tamworth. The village includes post war ribbon development to the north and south, but three or four houses in the village show remains of 17<sup>th</sup> century timber framing; and the Butchers Arms, west of the Church, though largely rebuilt, has late 16<sup>th</sup> century timber framing. This central area is covered by a Conservation Area. There are a number of ancient earthworks and historic buildings within the surrounding countryside, some of which are included within the Conservation Area, It has reasonable services including surgery, public house, village hall and a junior school with infrequent public transport services through to Coventry. Although the village is tightly constrained by surrounding Green Belt, there has been some recent development within the village and there is some capacity to accommodate limited redevelopment and infill.

The Core Strategy identifies Fillongley as a smaller Green Belt settlement in the settlement hierarchy with a housing requirement of 30 units, which includes both open market and affordable housing. The strategy notes that “*Development will be limited to that identified in this Plan or has been identified through a Neighbourhood or other locality plan. In Green Belt settlements, development will not be supported outside the current development boundaries*”.

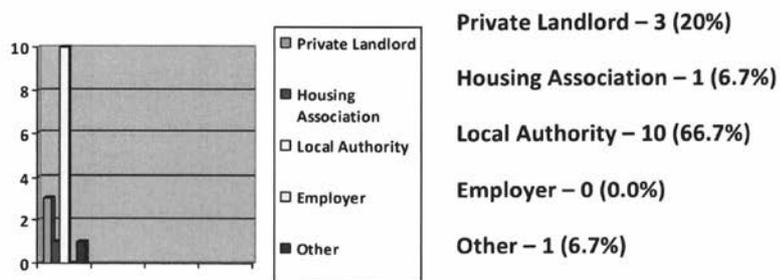
Affordable housing can nevertheless potentially come forward outside of the development boundary and within the Green Belt, where a need has been evidenced and justified as an exception to the Core Strategy enabled by the National Planning Policy Framework.

## Survey Results

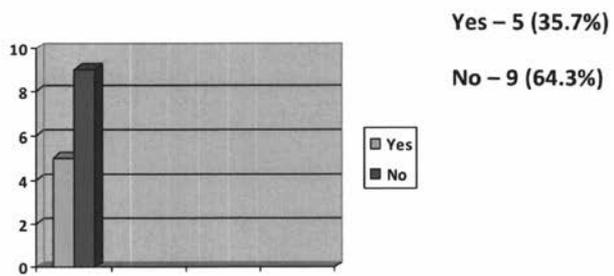
Do you own your own home (with or without a mortgage?)



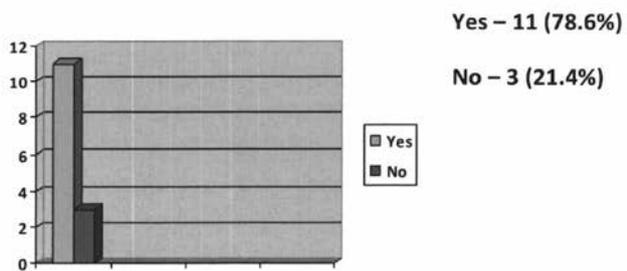
If you rent your home, which of the following do you rent your property from?



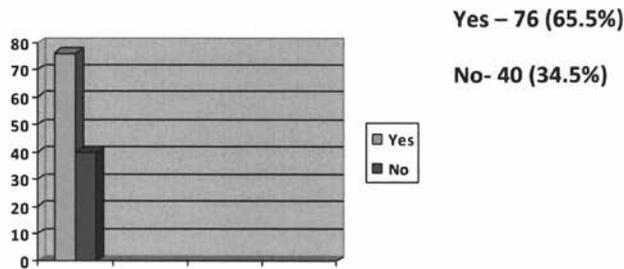
Would you like to own your own home, but cannot buy one in Fillongley that suits your needs?



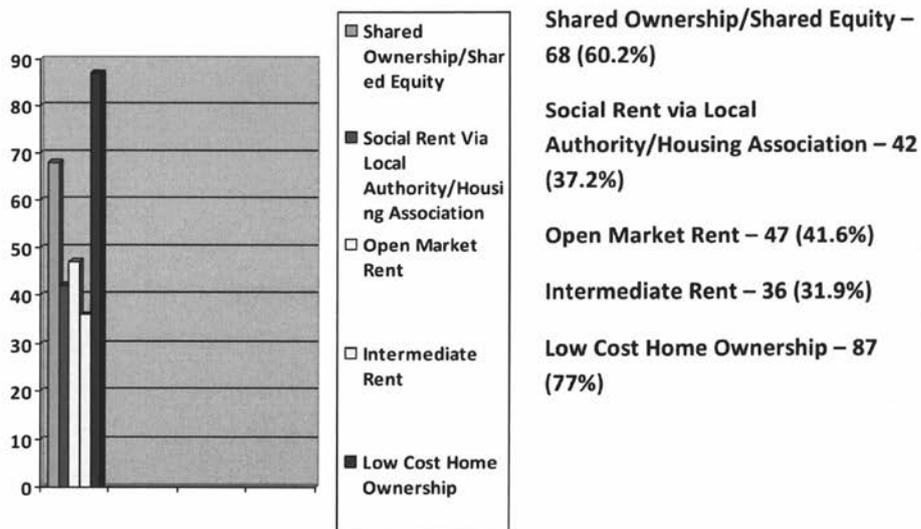
Would you be happy to continue to rent your home or consider moving to another form of rental agreement?



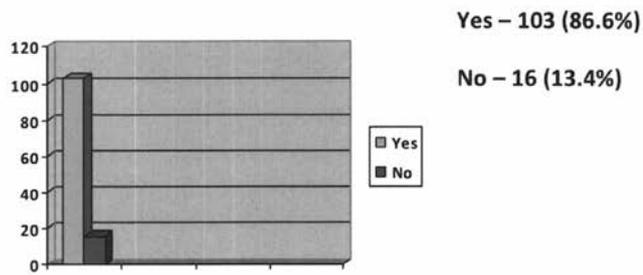
From the list of definitions earlier, are you aware of the range of housing options available for local people?



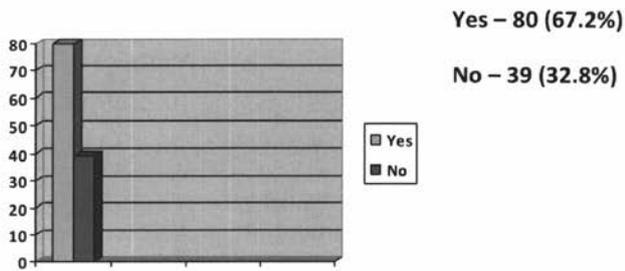
At the beginning of this survey, you were given explanations about the five key housing tenure options that could be available to local people unable to purchase a home outright. If new housing stock is developed, which of these do you think will be appropriate for Fillongley?



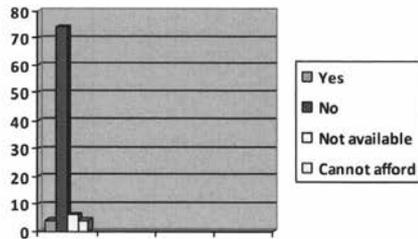
**Is your home the right size for your current needs?**



**Is your home the right size for your future needs?**



**Do you need to move to larger accommodation, either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?**



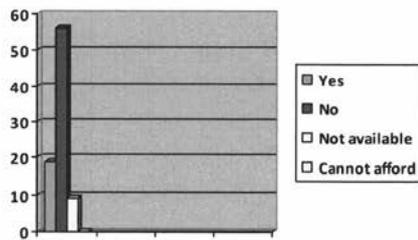
**Yes – 4 (4.8%)**

**No – 74 (89.2%)**

**Not available – 6 (7.2%)**

**Cannot afford – 4 (4.8%)**

**Do you need to move to smaller accommodation, either now or in the foreseeable future, but are unable to do so because no suitable property is available or you cannot afford a suitable property?**



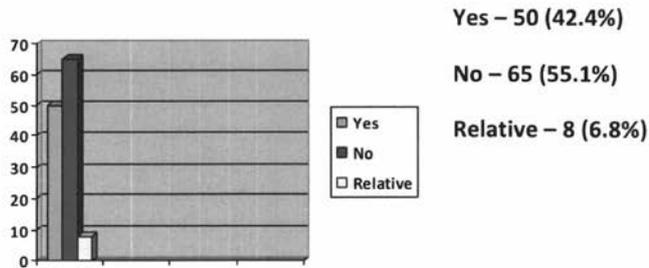
**Yes – 19 (23.5%)**

**No – 56 (69.1%)**

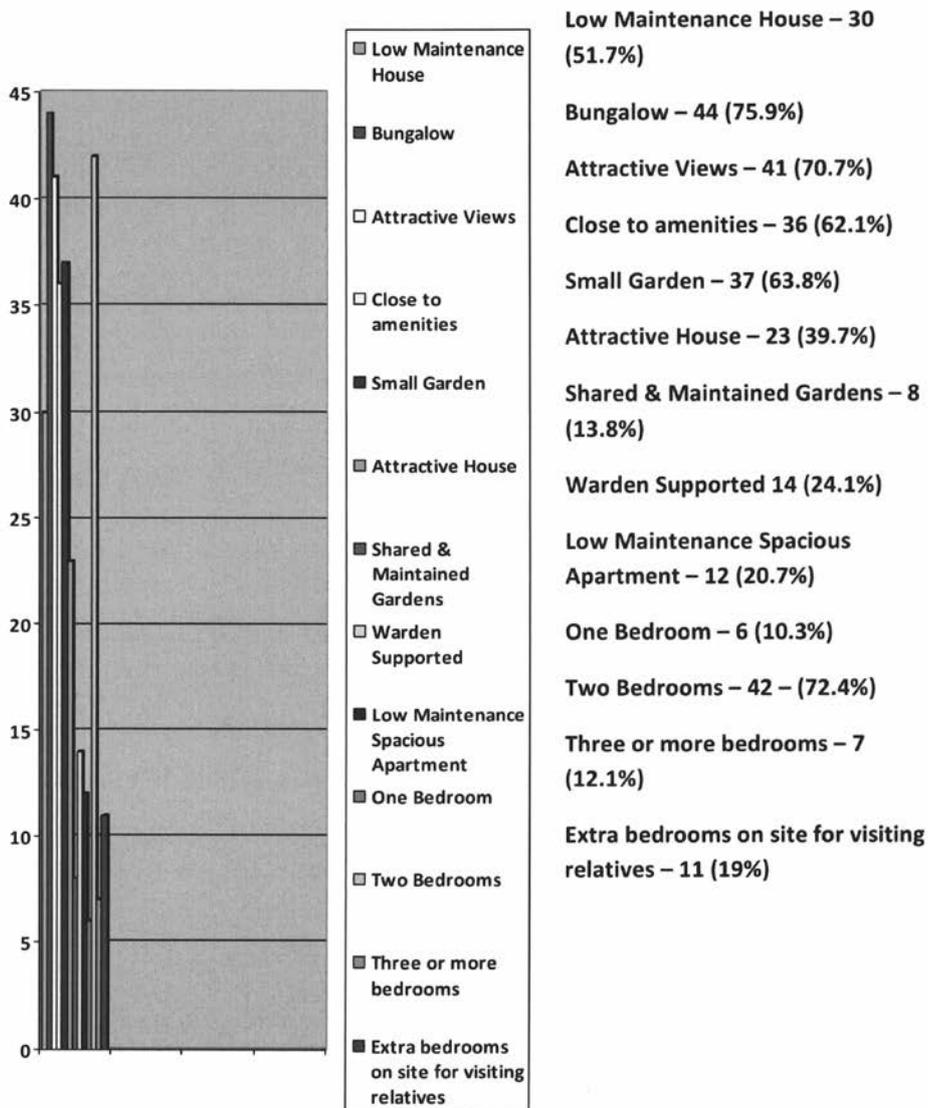
**Not available – 9 (11.1%)**

**Cannot afford – 0 (0%)**

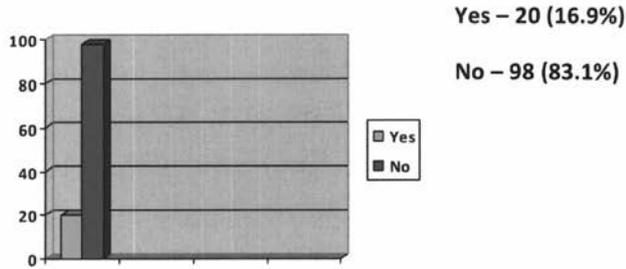
In the next 20 years, do you think you will see it desirable to move to a smaller or easier to maintain house/bungalow in Fillongley? Do you have older relatives who would like to live near your family who would find such an alternative attractive?



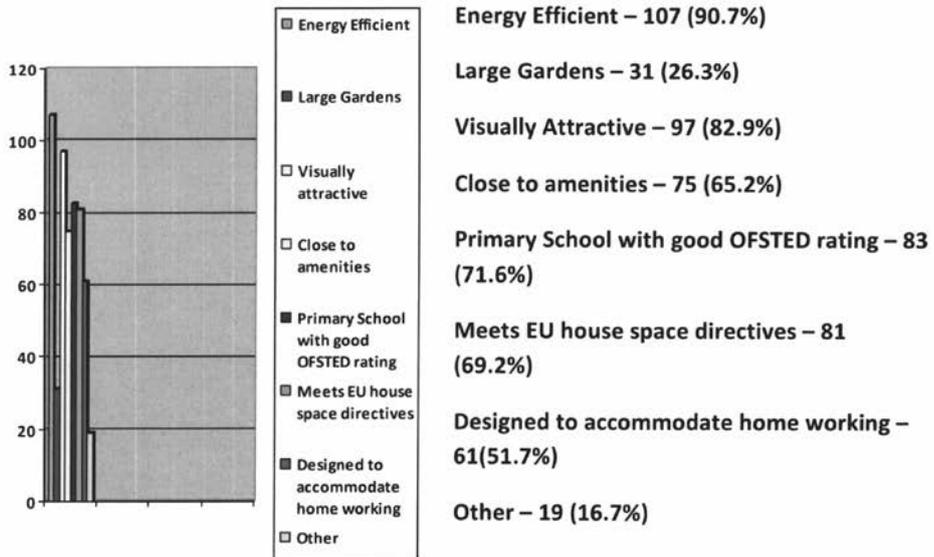
If you have answered yes for yourself or a relative, can you indicate the factors that would make such an alternative attractive?



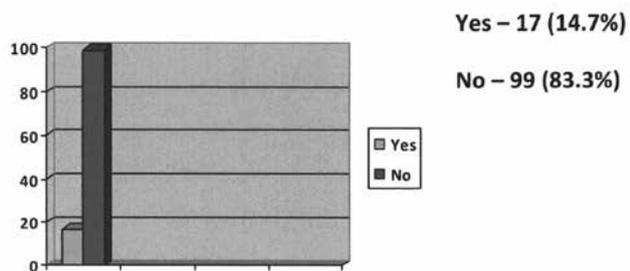
**Do you have any family or dependents (either living with you or elsewhere) who wish to purchase their own home in Fillongley, but cannot afford to buy in the open market?**



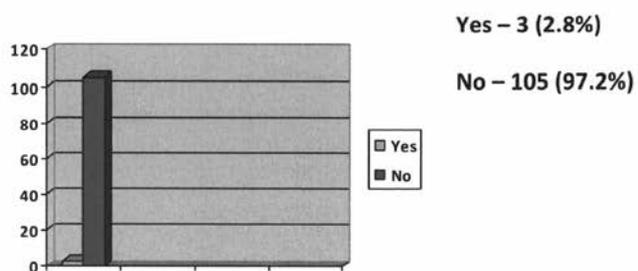
**If new housing stock is developed in Fillongley (whether affordable or market priced), what are the factors that will make this housing acceptable or desirable to current residents?**



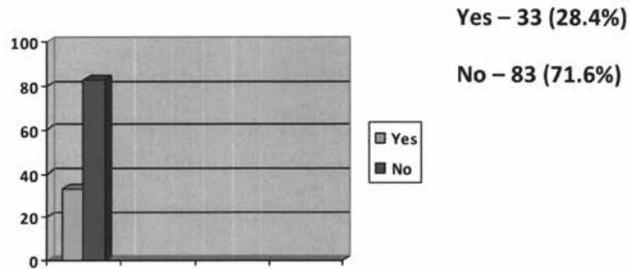
**Do you know of anyone who works in Fillongley, but who cannot afford to live in the village?**



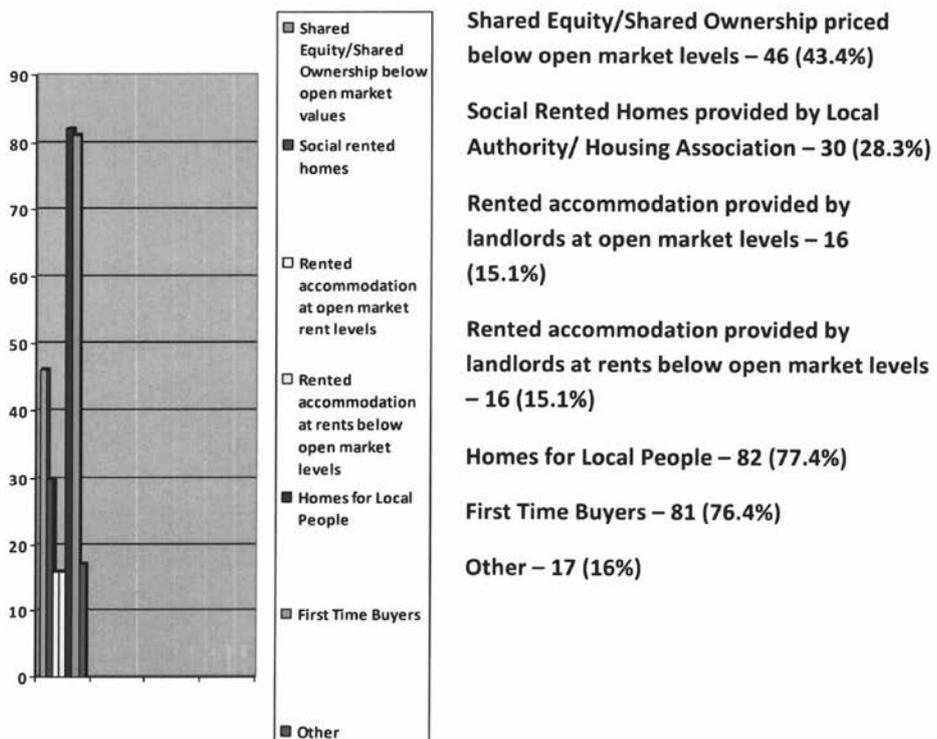
**To your knowledge have you, or any of those indicated as being unable to afford a suitable home in Fillongley, registered this need with North Warwickshire Borough Council?**



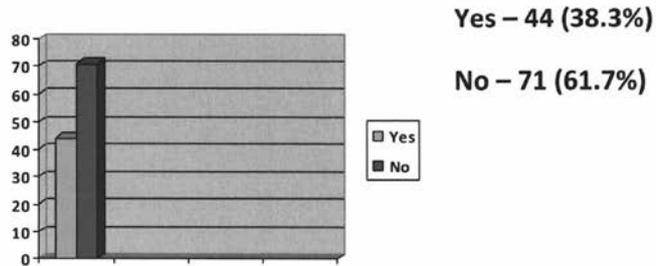
**In your opinion, do you think Fillongley suffers from the wrong type of housing provision for local people and their families?**



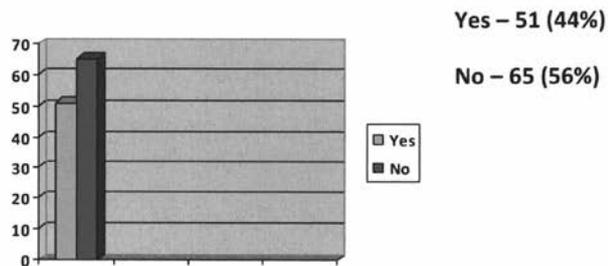
**Do you think that it is desirable that any of the following should be built in Fillongley over the next 20 years?**



**Do you think that in the next 20 years, that it is desirable for affordable homes to be built in Fillongley that are for people, who do not live, work or have a family connection to the village?**



**Do you think that it is desirable for live/work units to be built within Fillongley ?**



## Appendix A

### Resident's Comments

- Should consider retirement village
- I love living in the village and moved to my current home over 30 years ago. As I get older (now 61 years) my main need will be to downsize to a low maintenance home with a small garden. The other main criteria for a move would be to be closer to more amenities and regular, reliable public transport services. My family moved away from the village some years ago as there was no affordable housing in the village at the time, so first time buyers would seem to be a priority, especially for people with connections to the village. Opportunities to work from home sounds a really good option.
- The village needs housing at all levels to ensure expansion is desirable and the village itself would benefit from being enlarged. Final destination housing would add value, as would some intermediate higher quality smaller properties that might suit both older people on the way down and starters on the way up! More attractive housing is also needed which would enhance the village.
- There is nothing in Fillongley of an affordable nature for young people starting out.
- Lack of first time buyer property
- Live in/work units – Depends on commercial use – paper use ok, anything involving noise not.
- The village lacks affordable housing. It has social housing. Affordable housing available on the open market would be snapped up by landlords defeating the object.
- There needs to be a mixture of housing to suit all types of family – young, old, couples. Suitable accommodation for older people especially single households
- There is no point in building a village without village amenities, shops, P.O. etc. A village without shops is not a village. If you are going to build more homes – do not build little estates of little tacky boxes
- The housing situation is fine, it's the lack of public transport is a huge problem, to get to and from work, shopping etc. No public transport to go for an evening out or theatre. Taxi's from City £25 plus one way – on a pension – I think not. No post office or shops – not very good for young people or families without transport. Buses – 3 a day it's very off putting for anyone thinking of moving in to Fillongley.

- Bungalows for O.A.P. homes for 1<sup>st</sup> time buyers
- We are of a certain age and would like the chance to downsize to a 2 bedroom bungalow which is easy to maintain of which there are not any within walking distance to Fillongley.
- Carbon low/zero dwellings
- People choose to live in Fillongley as a lifestyle choice to be in a village setting. I do not foresee much employment opportunities in the next 20 years. Commuting costs will only rise as oil and alternatives become more costly to extract. Therefore I foresee those requiring social type housing preferring to be in a town urban setting where there are better amenities and close employment. There is a lack of housing in Fillongley that is small, well insulated, low maintenance, low/zero carbon. There is no provision for super-fast broadband, this could allow people to work from home.
- Should be built to at least Code 5, preferably Code 6 standards.
- Properties should be built away from the road.
- There are quite a few people in family homes where the children have fled the nest. This will become greater in future years. Some of these, myself included, would like to downsize and not leave Fillongley, but there are very few houses that are suitable for this i.e. modern but pleasant, easily maintained apartments, bungalows, two bedroomed houses in quiet areas away from the main road. The village's small population and its top heavy age structure means that it is a dying community, hence the shrinking number of services/facilities. New, young blood is required and since most of these people will not be able to afford present house prices, more shared equity/shared ownership and rented homes provided by the Local Authority or Housing Associations is required.
- More housing will turn the village into a town. Green belt must be preserved.
- Good quality housing for elderly people
- The recent council documents that put forward preferred development sites are completely unsuitable for addressing the stated number of houses to be built in Fillongley. The site next to the Working Men's Club is the best – but even here access and parking would be a major issue. The most eminently suitable site on all fronts is actually a brown field site but it lies just outside the declared parish development area – namely Courts Coaches site on the Coventry Road/Wood End Lane junction. The complete housing requirement could be built here with excellent road access, no parking issues, close to the village amenities and with the possibility

of ensuring no further impact on the villages flooding issues that none of the other possibilities can offer. To us it is a complete no brainer – over to you!

- Being 78 years old I don't think that this issue will bother me too much and I also live out of the village at Green End – BUT the last time a survey was completed it finished off with very expensive houses being built. Obviously the Council sanctioned the plans, so are you really concerned or will big money hold sway again.
- We need more Middle Range houses not Council Houses which are usually sold within 5 years. We do not need more large houses, which local people cannot afford. Outsiders buy these and then move on.
- Nice smaller bungalows.
- If new houses are built the following considerations should be taken into account – 1) Design – in keeping with surrounding buildings and environs – 2) Materials used for building of a traditional nature – 3) Are the present infrastructures adequate – e.g. roads, parking – 4) Are there enough local amenities to serve new housing e.g. shops, post office etc – 5) The village does have traffic issues at the moment, will new houses exacerbate this.
- 05.12.2013 – House available from the internet. Prices range from:

£1950,000
£1395,000
£700,000
£625,000
£550,000
£539,000
£450,000
£450,000
£435,000
£355,000
£349,950
£329,950

There appears to be no suitable properties for people on lower incomes to purchase, or for First Time Buyers. In the village of Fillongley we have lost one supermarket, one butchers, one bank and a post office/small hobby shop. Nearest post office is either Meriden or Keresley Coventry. To get there your own transport is needed. Where we live your own transport is a necessary requirement.

- The social housing availability in Fillongley is non-existent. The housing that does exist is old; poorly insulated and unsuitable. It is also ugly – save for new bungalows at old Arley – which is not Fillongley. Flats are totally unsuitable for every category of resident i.e. those with children, the elderly and disabled and those younger couples wanting a family. More consideration should be given to off-road parking, not only for residents, but for visitors; doctors, carers and delivery vehicles (who use walkways and obstruct access)! It costs no more to build attractive well-planned housing than it does ugly badly planned and thought-about developments. Many elderly/retired residents are active and cycle. Where do such couples store their bikes? In the lounge? More elderly would cycle if they could accommodate their bikes securely at home!
- Could benefit from more affordable bungalows being built to accommodate older generations who wish to downsize, but remain in the area.
- I know that there is an interest for affordable housing everywhere but I'm not sure Fillongley can meet the needs. As mentioned earlier, we've lived here for 30+ years now and in this time all facilities have reduced: PO closed, butchers closed. In addition travel costs have increased and I'm not aware of new job opportunities in the area. We are very happy here and enjoy the walking opportunities available. I don't think it's a village that needs large numbers of houses.
- Property owners in village to have more flexible planning in regard to Eco Sustainable housing, releasing smaller property for aging population of village and making a greener village in relation to climate change and pollution levels. More affordable housing for working younger couples and suitable housing for older people (bungalow). Planning boundaries reviewed to broaden scope of suitable development sites.
- More lower priced properties are needed in Fillongley.
- More larger (3-4 bed) houses for families with large gardens and parking.
- There are a number of brownfield sites, spaces where houses for 1<sup>st</sup> time buyers could be built in Fillongley.

- I think that North Warwickshire Council is very inflexible in their approach to assisting local people who wish to extend their home to enable them to stay in the lovely location of Fillongley. The Government has made clear its intentions to make home extensions easier and more sensible in its approach to these extensions, yet North Warwickshire Council have not taken these guidelines on board and are notoriously difficult to work with and negotiate plans with. They make it intentionally difficult for pre-existing residents of Fillongley to remain in their homes if they wish to extend, due to their Green Belt rules or their interpretations of those rules. It seems that the Government say one thing and North Warwickshire Planning Committee say another!! Yet we have been unsuccessful on 2 occasions in obtaining planning permission for a small scale side extension, yet other home owners in Fillongley appear to have been more successful. It has left us very disappointed and disillusioned with North Warwickshire Borough Council to be honest.
- Housing in Fillongley is adequate. If new homes are to be built, they should not be built on the main roads leading into the village.
- Larger 4 bed homes for families for owner occupier – you can't just add in cheap housing – a community needs a mix of housing. I've lived in Fillongley for 7 years now – no previous connections to the village. My children now attend the village school. Whilst I understand the struggles of families wanting to live in the same village and the need for affordable housing, I do not expect my children to look for houses in the village in 20 years' time. Following higher education, I believe that most young people don't return home, but look for accommodation near their chosen place of study. Families are much more widespread now. Therefore, sadly, those young people wanting to stay in the area will need cheaper, possibly part rental housing as due to the fact they probably didn't receive a higher education, their income is likely to be lower.
- The rural environment which characterises Fillongley should be maintained, it is my opinion that further housing development is not necessary to meet the requirements of the local community and that if imposed on the village, will be for the movement of people out of surrounding communities such as Coventry and Solihull. This would I feel, adversely affect the village, to minimise this any development would need to be sympathetic to the existing environment, fit in with existing buildings (some of which are listed), respect local preservation areas and amenities and preserve existing local landscapes, topology and views across the countryside and village. To meet these requirements, any development whether large or small should be closely monitored and controlled for their design and materials used so that fit with existing buildings can be assured. Main concern is to

preserve and protect the current rural environment and atmosphere the village enjoys while meeting the real/confirmed need (if any) of the true local community.

- The village is big enough and does not need any more social housing. Stop trying to make people accept others when they have paid for more expensive properties to be outside of city life and culture. Build housing on brown field sites and put an infrastructure for travel in place, i.e. supply a bus route both to Coventry and Birmingham, that is regular and well-priced (affordable).
- I would like to see more bungalows with garage and smaller gardens built within the village and if possible better local shopping/post office facilities.
- Second stage homes so that those in terraces don't have to move away. The village lacks the smaller 3/4 bed houses for people to move into from the terraces or small semi-detached properties when children increase in number/size. Many of the larger 4 bed houses have been extended to such a large size that their cost is generally in the region of £300 - £350k +, far outside the reach of someone moving from a £200k house. Many families have to move away as children come along because their home become too small and they cannot afford the leap in cost. Garden size is important too even though there is a park and fields. Safety on the roads is also a huge problem in the village.
- Whatever type of housing is required; it needs to blend in with the landscape with high quality design. Development should be well spaced out on a site with established boundaries using existing slopes, hedgerows, trees and buildings. Not to concentrate building in one area which will change the local character. Should not spoil the views from surrounding countryside and spread out development outside the village centre which will increase traffic to the village centre amenities such as school/medical centre etc.
- More bungalows or option for ground floor accommodation for disabled, or flats on Eastlang Road to be provided with a lift activated by a key for those who live there.
- Owner Occupier Properties
- No, if you cannot afford to live in Fillongley, move out to Coventry "it is what it is". You do not have a right to live anywhere you feel like it. You should live to your means.
- I do not think there is a need for housing development in Fillongley.
- Social/Affordable housing would be desirable for both residents within Fillongley and outside. But this extra housing would also need extra amenities, post office etc.

- Fillongley is an attractive village because it is small with no road chaos/traffic problems. We recently moved to this village to enjoy the peace and quiet of country life, why spoil it with newly built homes which in turn brings ugliness to our beautiful countryside. There is no need to increase population in our area as there are not any jobs/factories/offices here. The trouble with this country now is the overcrowded cities already, so don't be caught up in this political madness that insist on more greenbelt land and countryside being eaten up for more housing needs, keep Fillongley as it is already, a nice peaceful village as village life was intended. I for one would look to move away from here if more houses were to be built. Keep our countryside as it is!!
- Even when low cost housing is built it quickly becomes high cost simply because the area is desirable. The only resolution would be to build enough that it becomes undesirable! As someone who has struggled to buy a house here, I would be opposed to large scale building of cheap houses.
- Lot of properties available. Community retirement homes with social and medical help required. Most locals retire to Beade Village, Exhall who provide excellent service.
- Smaller properties for the over 55's to purchase. No point in building new homes when no commercial businesses e.g. post office, banking. Village has only one shop (which is a god send on occasions). There is a high percentage of retired folk and with limited transportation i.e. public transport limited/non-existent makes life difficult for some folk especially during winter months. We feel the properties built at the end of Eastlang Road are not very attractive and not in keeping with other properties in the village.
- Smaller houses, apartments, bungalows, flats that are built to green values.
- There is a semi in Fillongley that has been empty for over a year. Surely it would be easy to fill from the waiting list. Also there is a 4 bedroom property occupied by one person – totally unfair – should be moved to a smaller property.
- Please protect the green belt. It would be better for new homes for 1<sup>st</sup> time buyers to be near a city centre where there is more to do and would involve less commuting. For local elderly people, accessible housing on ground floor and better bus routes or local transport will be needed for the elderly over a long period of time in the future as our population is getting older and people live longer.
- Existing properties/buildings should be considered for redevelopment before new housing is considered. Also brownfield areas should be considered for homes if necessary.

- Any new homes should replace, not add to the amount/type homes currently within the village. The only needed commercial business not currently in the village is a post office and any further commercial building or additional housing will destroy greenbelt land and change forever the atmosphere of our peaceful village, which is worth fighting for!!
- I think that there is no huge need – people have always had to move away and then come back later in life. Perhaps a good idea to build some houses suitable for disabled people or ones that could be easily adapted if the need arose as there have been people in the community who have become disabled and then faced difficulties with housing. Definitely no development on green belt unless it is already a legally developed brownfield site.
- Too many properties being built around Shawbury Lane (Two in peoples back gardens and one huge house laughably got planning as an outhouse). Get a grip planning.
- Obviously no houses can be built in Fillongley unless the drainage system is updated – it does not meet current needs never mind additional housing needs. The main sewer down Coventry Road is just too small and the culverts under Coventry and Nuneaton roads are too small to cope with the run off from the M6.
- Three generations of family live together in our home; only way our daughter and son in law could afford to live in Fillongley area!
- Housing suitable for the elderly which enables them to maintain a measure of independence. We have resided in Fillongley for the past 41 years in the same property. Having reached the age of 70, there are no appropriate dwellings within the village for us to move to.
- Needs to be on a good public transport network. I live outside of Fillongley in the neighbouring lanes of Shawbury. There is nothing there for first time buyer, but a number of sites that might accommodate small such housing units – ex farms and old light industrial areas. Conversion of these to housing would be a good idea if re-using existing buildings and maintaining openness. My parents would like to move to a smaller house from Furnace End, but would not consider Fillongley due to inadequate public transport links. (by contrast, Coleshill has very good bus connections).
- Young people can't afford to buy. Low cost affordable homes to buy for local people/families
- Self build development, zero carbon homes, homes with assisted living packages.

- Fillongley is not a thriving community. There are no local job opportunities and people with no car or unable to drive are totally dependent on very poor public transport. This isn't about housing; it's about how people live. New housing needs to be linked to new jobs. We need places for people to start new businesses or to access farming. We need better amenities so people don't have to travel. We need housing development that ensures people have more money in their pockets and for less to pay for energy, water and maintenance. We also need housing developments that don't just make profits for a few of Fillongley's land owners but offer the chance for people to learn new skills. We could have a new factory at Daw Mill which builds housing for Fillongley and the UK as modular housing. However, based on this questionnaire I guess we'll end up with a few more executive houses and a sprinkling of council flats. I'm happy to be moving away from the area.
- None its fine
- Must not contribute to flooding or off road parking
- It is not appropriate to consider building when the current flood risk has not been eliminated. It is also not appropriate to consider building when currently car parking has not been addressed and excessive numbers of cars are parked on roads in the village which are dangerous and spoil the look of the village.
- Fillongley is an unique village. Housing in this area has always been sold at a premium; this is why it has remained a very desirable place to live. It has never been a place for first time buyers, it took us two previous homes to buy and sell to build up our equity. If cheap housing was introduced, it would no longer be a desirable village to save and strive to live in. Everyone needs to set their own targets and save for the good things in life – housing being the largest purchase in anyone life. It never comes easy – we had to pay 15% interest at times on our mortgage. Cheap housing would spoil the whole area.
- We need regular public transport.
- This area is countryside – therefore no further estates or large volumes of homes should be built.
- A village is a community, currently the Fillongley community consists of many hard working, pro social people. I would not like to think that an influx of unemployed people would be given housing in this area. I am happy for sustained housing – co – ownership for working people. Any social housing should be robustly supervised by the housing provider with any negative behaviours – ill kept properties being addressed immediately.

- Warden bungalows – affordable shop incorporated
- Just because you are born in the village doesn't give you the right to live in the village. If it isn't affordable then you move to where it is like Coventry, Nuneaton, Bedworth etc. and then work hard and strive to move back when you can afford it like we did. Keep the village a village, not another suburb of the expanding city. This is what makes village life attractive.
- The lack of community transport needs to be addressed in Fillongley – additional homes for young or elderly is futile without this.
- The village has nothing to offer to attract residents. More thought should be given to housing away from village centre in attractive rural locations, well away from the main roads.
- People who bought council houses at discounted prices years ago are now the people taking advantage of OAP bungalows, having sold their council houses at a profit. They get all/some of their rent paid in the bungalows and have therefore benefitted twice in the system. Lacking is more affordable housing in rural locations.
- Have recently moved here and am very happy, but not in a position to speak on behalf of local people who have lived here for many years.
- A need for new housing for 1<sup>st</sup> time buyers to enter community. Revitalise the village, more younger people creates long term future village communities.
- Fillongley is a most attractive village. It is a hidden and underutilised gem. It needs an influx of young new people, ideally young couples with small children. Such a development would allow many local enterprises – nurseries, shops, the village hall to become more viable. Maybe we would even get a second pub and the church would have a higher attendance.
- More homes for older residents
- Need more housing for pensioner's not small one bedroom bungalow but with two or three bedrooms. Would like more transport to outer areas, maybe even a railway link. More leisure facilities, dentist and more doctor's surgery. Would also like more access to gas in more homes that are in rural areas and better broadband facilities instead of B T having monopoly.
- I personally do not want any housing estates built in Fillongley besides individual new houses built for locals which might work.

Appendix B

Properties for sale and rent within Fillongley on 20<sup>th</sup> January 2014.

For sale

Estate Agents	Area	House Type	Bedrooms	Price
Burchell Edwards Atkinson Stilgoe	Berryfields	Cottage	1	115,000
Shortland Horne	Tamworth Road	Cottage	2	179,950
John Shepherd Atkinson Stilgoe Bartleys Estate Agents	Green End Road	Semi Detached	5	1,395,000
Loveitts	Eastlang Road	Terraced	2	167,500
John Shepherd	Ousterne Lane	Detached	4	450,000
Howkins and Harrison	Newhall Green	Farmhouse	6	1,950,000
Knight Frank	Newhall Green	Farmhouse	7	1,950,000
John Shepherd	Wood End Lane	Detached	3	450,000
John Shepherd	Tippers Hill Lane	Detached	4	625,000
Fine Country	Tippers Hill Lane	Bungalow	4	750,000
Atkinson Stilgoe	Coventry Road	Detached	4	355,000
Payne Associates	Park Lane	Detached	3	425,000
Matthew James	Castle View	Terraced	10	349,950
First Choice	Eastlang Road	Semi Detached	2	169,950
Howkins & Harrison	Tamworth Road	Semi Detached	4	495,000
Loveitts	Crossways Cottages	Cottage	3	159,950
Brian Holt	Coventry Road	Semi Detached	3	299,950

For Rent

Estate Agent	Area	House Type	Bedrooms	Price (pcm)	Price (pw)
Atkinson Stilgoe	Meriden Road	Detached	3	850	196
John Shepherd	Tippers Hill Lane	Cottage	4	1895	437

This Housing Needs Survey has been done in partnership with Fillongley Parish Council as part of their Neighbourhood Plan.

If you have any queries in regards to the results of the survey, please feel free to contact:

Paul Roberts  
Housing Strategy & Development Officer  
North Warwickshire Borough Council  
The Council House  
South Street  
Atherstone  
Warwickshire  
CV9 1DE

Tel: 01827 719459  
Fax : 01827 719225

E mail: [paulroberts@northwarks.gov.uk](mailto:paulroberts@northwarks.gov.uk)

NORTH WARWICKSHIRE BOROUGH COUNCIL
RECEIVED 30-Sep-14
PLANNING & DEVELOPMENT DIVISION



# North Warwickshire Borough Council

Fillongley Housing Need Questionnaire done  
on behalf of Cassidy Group

Analysis completed by Paul Roberts, Housing  
Strategy and Development Officer at north  
Warwickshire Borough Council.

June 2014

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## Background Information

Cassidy Group approached North Warwickshire Borough Council for assistance with the analysis of the Housing Needs Questionnaire as they wanted to ensure that the count was independent.

The Cassidy Group were informed at the time of their request that North Warwickshire Borough Council agreeing to do the analysis, did not in any way, shape or form mean that the Local Authority was giving a green light in regards of the development proposal and that they would need to go through the proper channels. The Cassidy Group were agreeable to this as they expected nothing less, but asked for assistance in order to stop any later queries that the count could be skewed.

In regards to the count, we had 648 questionnaires delivered within Fillongley and received 71 responses in relation to that which gave us a return rate of 11%. Obviously, in some cases, there will be more than one housing option given as some residents have answered on behalf of family that could also be living in the property or have had to move away from the area due to issues of affordability.

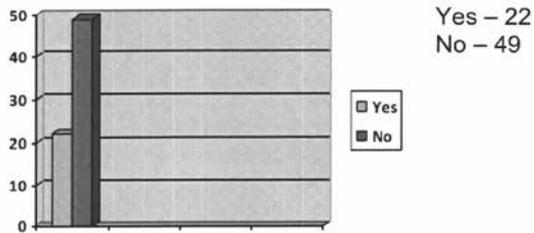
What has become apparent from the questionnaire is that there is a real demand within Fillongley to get on the home ownership ladder with Open Market and Low Cost Home Ownership being the top 2 choices that were coming through in regards to tenure needed within the village.

We had a lot of comments made in regards to sewerage capacity and loss of greenfield (Appendix A) and has mentioned in phone calls with worried residents, this is not a fait accompli and that if the Cassidy Group decide based on the results of the questionnaire to put in for a planning application, these points will then have to be raised again at that point with Severn Trent and other organisations as well as residents nearby to the site being given the chance to comment during the 8-12 week consultation phase.

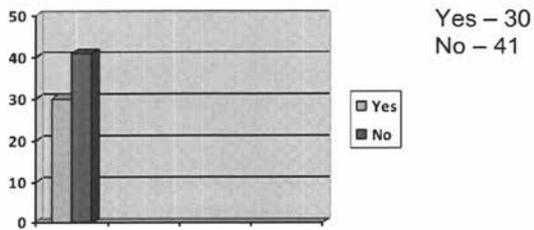
The results are below and given in a graphical format to enable easy reading.

## Survey Results

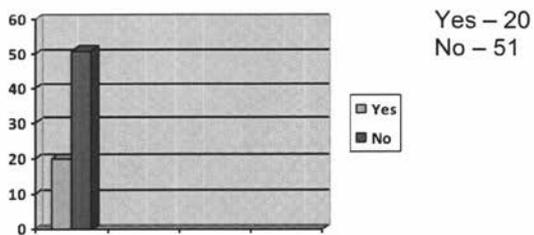
You cannot afford a suitable property in the area?



Lack of available housing type in the area?



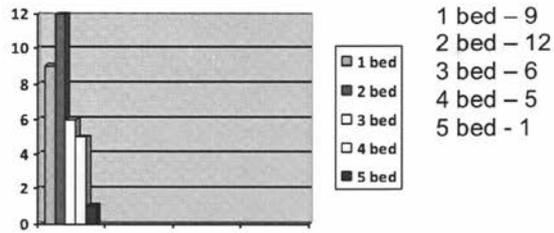
Do you have any family or dependents (either living with you or elsewhere) who wish to return to/live in Fillongley?



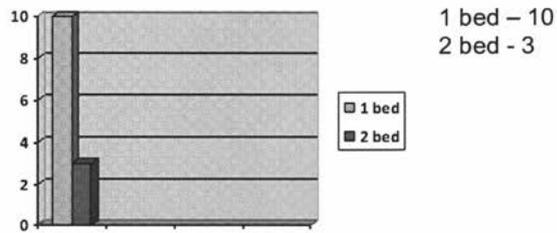
Please select which housing type and indicate the number of bedrooms which would be required?



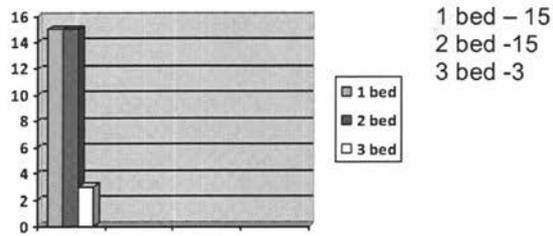
Number of bedrooms required for a house



Number of bedrooms required for a maisonette



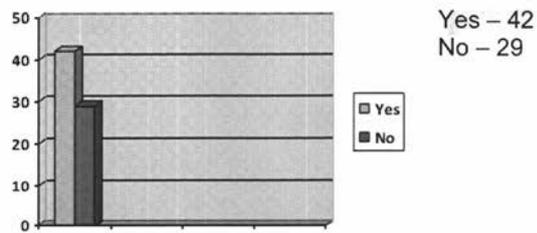
Number of bedrooms required for a bungalow



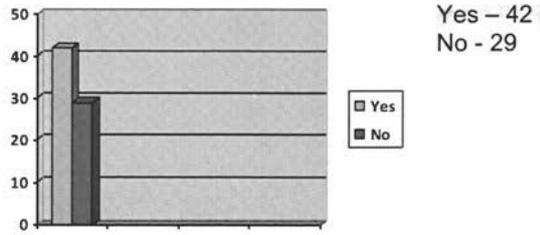
Please select any housing tenure option(s) you require?



In your opinion, do you think Fillongley suffers from insufficient housing provision for local people and their families?



Do you believe, due to its central location that the Eastlang Road site is a suitable location for housing to accommodate any identified housing needs of local residents?



## Residents Comments

- I think that this is misleading in the extreme. I believe that the results will not be an accurate reflection of the need. I think that the developer should not be able to mention a particular site - especially as you are encouraging by association building on green belt and greenfield site. I've spoken to numerous people who believe this to be a proposal of NWBC - The Council should sort this mess out.
- Though I would like very much to buy a home in Fillongley and appreciate the opportunity to do so within my budget is minimal. I moved here due to the quiet, rural location and would hate to see a ton of new build "legoland" houses being built - particularly on green belt land and green areas in the village or region.
- I would like to know why this questionnaire bears the logo of NWBC. Do they support the Cassidy Group in this proposal.
- We personally do not need to move. - Eastlang Road is the obvious place in the village to meet any real social housing needs i.e. elderly and young families. We would not like to see this abused and individuals profit by taking on a property then selling onto the open market. - 37 properties would be too many on this site - suggest possible need for 20 total, there will be need for additional school places wherever development takes place. Playing fields accessible from Eastlang Road. - We don't think Courts land is an appropriate location for elderly or young families as it is too far out of the village - Concern re misinformation on leaflets re non existence of Post Office and Community Centre. - Can you reassure the community that all existing properties in Eastlang Road are let?
- Fillongley is a long established village that caters for its own needs. Consider: 1) Explosions of Traffic 2) Strain on Schools 3) Flood Plain 4) Medical Care 5) Amount of Fuel Needed 6) Environmental 7) Infrastructure (excess traffic to surrounding areas) A) Post Office is gone B) The shop is trying to sell up C) Fillongley seems to be a stop gap for small children to go to junior school, then they move away when it is time for secondary school. D) What is the driving force behind this project Housing Need, Money?
- Opposed to the Eastlang Road because: - This is a green belt site and we understand the NWBC are committed to preserving this. - Parking is at a premium on this site - Access to roads -- very difficult and hazardous - Drainage and sewerage - this area suffers greatly from flooding! - There must be more amenable sites in the location - for example, Courts Site (Brown Field) does not present the difficulties posed by Eastlang Road site - please consider this as an alternative. - Consultation was misleading and lacked clarity and overall very unprofessional, accusations made against FPC and NWBC in a public arena. These questions are very direct and manipulative and have no credence and we question the validity of the whole process.
- We would consider buying a four bedroom property. we have seven grandchildren and so although we are a retired elderly couple, we need

the extra bedrooms so that our family may come and stay when they visit. They require to stay as they live in London and Sheffield

- I think about 18-20 houses and bungalows would be better than the 43 mentioned. Eastlang Road is a very narrow road with parked cars and access to the new properties would be difficult. The 4 bedroom house near to Church lane would be very dangerous especially if there was access into Church Lane, the road is very dangerous, as it is a blind corner. The traffic in Church Lane is very busy, the people are taking a short cut and turning right at the Post Office and then left into Ousterne Lane, avoiding Fillongley Cross Roads. I think we could do with some more shops before the new homes are built.
- Fillongley is a village and should remain that way. It has always been expensive to live here. Young people need to save to buy a house like all generations before them. To bring in "affordable housing" would change the culture of the village. We do not need extra housing.
- Due to the flooding issues in the village, the present infrastructure can't cope with any further load. Add this to the fact the area is green belt, it should not be built on. Additional housing could be built on the old Courts Yard at the top of the hill.
- Fillongley does not need any more housing and I strongly disagree to the development of the ground behind the community centre and bungalows in Eastlang Road. The road is not big enough for more traffic, it would cause chaos, and also the development would spoil the beauty of the landscape. Please don't let them change it, we love how it is. Also the school is overcrowded, no post office, shop in iminate of closing down, the bus is a joke 2 a day and when it gets to Fillongley, its full so people are left behind.
- 
- I feel very upset with what you are doing in Fillongley and Corley. I feel that whatever we do to try and stop this housing project won't do any good as we all know it is a done deal. Not only will we have 20 new houses, there are still 10 more to go up in a guess more Greenbelt land. I am discussed with what has been proposed and I know that a lot of people agree in the village. How much more of our Green belt land is going to be taken up in houses, it's a crying shame. One last note I would like to make, how do we know these people belong to Fillongley, these are only for residents. I dont see any homeless people about the village.
- There is no Post Office The bus service is poor The school is too small for more children The doctors is already overcrowded and people need transport to the Bennetts Road Surgery
- I strongly object to housing being built in Eastlang Road field
- NWBC should not be building on green field sites. Plenty of brown field sites in locality. I see no community facilities on this plan by Cassidys
- Other sites around the village should be looked at, otherwise too many people in confined spaces, also the quality of housing and the number of houses grouped together in a confined area. Other sites to be looked at 1. Fillongley Village Hall 2. Courts Coaches 3. Land at corner of

Meriden Road and Pump Lane 4. Smith's Field on Coventry Road next to Spon House

- There seems to be a large amount of younger people in the area with little or no chance of ever being able to afford to live in the community. I also think that there is a shortage of old peoples places to allow them to stay where they have often lived for 50+ years.
- We live in a 4 bedroomed detached house with three adult daughters whom have grown up in this house. We will look to downscale in the coming few years and want to stay in the area. Ideally we will relocate to a bungalow. At least two of our three daughters would like the opportunity to move into local affordable housing.
- Question 8.3a forces an answer even though NO has been selected on the previous question so there is no requirement to select a property type The answer to 8,3a is fictitious to allow questionnaire to be submitted. Re the Eastlang Road proposal - major concern over flooding. Church Lane & Coventry Road has a history of flooding from surfaces water and sewerage due to out dated drainage systems. Removing a large area of land drainage & feeding more water into the systems from new properties, drives, roads etc is a major cause for concern. In the core strategy and site allocation plan 2013 it stated a requirement of 30 properties in Fillongley up to 2028 and as a rural village the sites would be < 10 units. The proposal is now for 40 properties (including 3 in Castle Close) immediately with the majority on a single site a 25% increase in the original proposal - can the infrastructure e.g. school, doctors etc cope with this increase in properties in the village. An estate of 37 properties within an existing village could give rise to a community within a community not integration into the village. If the development goes ahead it needs to be a mix of open market/low cost ownership as well as rented not just rented/Social Housing to ensure a mix of residents and future market options in the village. Has the Courts Coach site also been considered as this is a brownfield site were water could drain either Fillongley or Corley directions, already has a lot of hard surface so not losing land drainage and is believed to be vacant or about to become available.
- I'm an 18 year old girl and I know that i will never be able to own my own home without affordable housing. Thank you
- Please outline plan for school? Plan for independent sewerage as current infrastructure not able to tolerate additional road.
- Availability of garages as these are very important in rural locations. Form 2 - would require garage. I have a local trade, lived in area for 8 years and face having to leave Fillongley due to house prices and unavailability of property. Please call me 07910 271159 Time scales for length of time from securing permission to build and the houses becoming available.
- I think a generation has been let down in Fillongley by lack of social housing had to leave area no affordable houses, only houses available. For folks who had money or those on benefits lack of in? Now the cry goes up for the older homes having not catered for the missed generation. A touch of blinkered vision. Perhaps not as many as predicted in brochure and perhaps other areas in parish i.e. Sandy

Lane, Wood Lane, opposite spill over cemetery. If no money available for purchase is million pounds a day go to EU. With no? For 18 years get out of EU then see what can be done with our money.

- Housing need is not the issue. Putting in new property will only increase the pressure on already stretched facilities for example no post office, no quality general store, poor bus service, lack of school vacancies, the village does not have the infrastructure to support more properties
- In the next 5 years we would like to downsize from a detached house in Fillongley (Holbeche Crescent) to a bungalow, prefer 3 bedrooms so one could be a study but 2 may be enough. The bungalow would need to be close to centre of village (not top of hill or a long way from shop). We would expect to sell present house and buy the bungalow so low cost ownership is not a need for us. Your Eastlang Road proposals sound very interesting. We would look for quality and a garage rather than cheaper price. A daughter would like to move back to Fillongley from Coventry and she would need a low cost 2 bedroom house
- I am against the proposed site because it is green belt and if it starts where does it stop. Extra traffic. Extra pressure on doctors
- We are currently renting from a private landlord. We have 2 children at Fillongley School but are unable to buy a house in the area due to availability and affordability. We would be interested in buying a property in the Fillongley Parish area under a shared ownership scheme. We believe that a suitable development site has been identified on Eastlang Road and we are wholly in support of this development.
- Due to the possibilities of HS2, Fillongley and the surrounding areas will become commutable to London therefore putting increased pressure on the housing market. Being a first time buyer this further reduces the change of buying in the area
- I think there should be limited housing development in Fillongley sufficient only to meet the changing needs of the existing population. This would include low cost housing for young families and some smaller housing / flats for elderly residents. I don't think there is a need for more mid-range properties as this will only attract more people from outside the village causing it to grow too big. The reason I would object to growth is the problems with the roads, traffic is already too heavy and fast on the main roads. However if a bypass were built that would change everything and larger planned development would be acceptable
- Looking to move to the Fillongley area as this is where our family are near. Struggling to find anything affordable as houses in this area rarely come on the market and are rather large. Looking for affordable for first time buyers but not housing association.
- There is the need to consider the impact of new family homes on the school catchment area for Bournebrook School. Is funding to be made available to enable the school to increase its annual class size intake to say 25 - if so, a new classroom would be needed. We are a family who moved to Fillongley 8 years ago, purchasing our home. We have no family connections with the area, our jobs have brought us to North

Warwickshire. We have difficulty understanding why all the houses would only be occupied by persons from Fillongley Parish with a local connection. I believe that other families with housing need from outside the parish should have a chance to purchase / occupy some of the houses. This would give those the opportunity to benefit from village life and add to the village community rather than keeping it static

- Worried about parking eg layby going where we park 2 of our cars. Also amount of traffic in Eastlang Road
- Need for first time buyers to be able to get on the property ladder. Currently living with parents and wish to move in with partner so low cost housing would be ideal
- My wife and I live in a five bedroom semi with a reasonable amount of garden and while we are capable of maintaining both at present, we are concerned that as we go into our seventies, this may no longer be the case. Ideally we would like a smaller easily maintained garden and property, probably two bedrooms with a garage. A bungalow would also be considered. Our other concern, which you probably are not interested in, is that Fillongley continues to have a bus service to Coventry and Nuneaton so that we have access to town/city services if there comes a time when we cannot drive. Ideally the development that we would be looking at would be quiet without lots of noise from children and youths. Looking at the size of your proposed houses, we would probably go for a 3 bedroomed house.
- I currently live in my own 2 bed semi-detached house, but I can foresee I will need to find a ground floor home in the future and would really like to stay in Fillongley. As there is very little of this type of housing available, either to rent or buy, I am pleased at the proposals to include bungalows at the Eastlang Road site, but I have 2 concerns: The site is an ideal location but I think the density of 37 homes is a lot for Fillongley to cope with in one go. I feel the number of houses should be reduced to minimise impact on traffic and services and there should be more provision for ground floor homes for older people wanting to live independently but safely in Fillongley
- My needs and that of my wife are as follows: a 2/3 bedroom bungalow having rooms of a reasonable and practical size to accommodate ones furniture and possessions (too many modern properties are too small, forcing one to dispose of furniture and belongings essential for comfortable living!) Although a couple, 2/3 bedrooms are essential because modern properties do not permit the use of 2 single beds in bedrooms that are too small. My wife suffers from "restless leg syndrome". This causes her to kick involuntary during sleep which can cause me injury and bruising. We therefore need separate beds which can only be accommodated in different rooms! A third bedroom is necessary for essential storage and as a guest room for a visiting relative, or in later life, a carer (my wife and I both suffer from arthritis even in our mid 60's). An appropriate and practical ground floor bungalow is ideal - but these need to be larger than the usual modern rabbit hutches so frequently built on the cheap, but are distinctly user unfriendly and unsuitable.

- Where will all the extra cars be parked? Church Lane? Holbeche Crescent?
- More affordable housing is required for people of the local village so they can get onto the property ladder. Without affordable housing/ help to buy, people such as myself would not be able to live in the village due to the cost of houses.
- The road into Eastlang Road is not suitable to get any extra vehicles to where you propose building extra houses. I walked up the road this morning at 7am and if a fire engine had to be called for, it would not be able to get down. There were 10 cars, a Severn Trent van and a big white van all parked down right side of the road and path. On the left side, there were cars to the flats, According to your estimate of 37 extra homes, that would mean at least an extra 40/60 vehicles. The road is not suitable; they would be coming past old people's bungalows where they are not very stable and young children running between cars. If there was to be an accident, I would definitely blame the Council.
- Is Cassidy group working on behalf of the council or the council on behalf of Cassidy group? Is this the same Cassidy group that is clearing Young's Builders yard on behalf of the council? I cannot believe the Questionnaire sent out by Cassidy group/council, obviously each question was carefully selected to ensure yes was the only answer. It's affordable housing that is needed, not just another estate and a large profit for the builder. Could I please build a housing estate on the field behind my house?
-

## Properties for sale and rent in Fillongley at the date of Wednesday, 25 June 2014

### Properties for sale

Type of property	Price	Area	Estate Agent
2 bed detached house	£210,000	Pump Lane	Atkinson Stilgoe
5 bed detached house	£825,000	Green End Road	John Shepherd
5 bed detached house	£540,000	Sandy Lane	Shortland Horne
1 bed cottage	£115,000	Berryfields	Atkinson Stilgoe/Burchell Edwards
4 bed cottage	£695,000	Wood End Lane	Fine & Country
7 bed detached house	£1,995,000	Broad Lane	John Shepherd
3 bed bungalow	£399,950	Green End	Brian Holt
4 bed semi-detached house	£450,000	Tippers Hill Lane	Newman Sales & Lettings
4 bed detached house	£447,500	Ousterne Lane	Atkinson Stilgoe
7 bed house	£1,500,000	Newhall Green	Frank Knight
5 bed detached house	£465,000	St Marys Road	Shortland Horne
4 bed bungalow	£495,000	Tamworth Road	Howkins & Harrison
2 bed cottage	£162,000	Tamworth Road	Shortland Horne
5 bed detached house	£1,250,000	Green End Road	John Shepherd/Atkinson Stilgoe
7 bed house	£1,950,000	Newhall Green	Frank Knight
4 bed bungalow	£680,000	Fillongley	Fine & Country
4 bed detached house	£330,000	Coventry Road	Atkinson Stilgoe
3 bed cottage	£159,950	Crossway Cottages	Loveitts

Properties for rent

Type of property	Price	Area	Estate Agent
4 bed barn	£1650 pcm (£381 pw)	Slowley Hall	Chris McAvoy
3 bed semi-detached house	£695 pcm (£160 pw)	St Marys Road	Chris McAvoy
3 bed semi-detached house	£895 pcm (£207 pw)	Hillview	Hunters

This analysis has been completed by:

Paul Roberts  
Housing Strategy & Development Officer  
North Warwickshire Borough Council  
The Council House  
South Street  
Atherstone  
Warwickshire  
CV9 1DE

Tel: 01827 719459  
E mail: [paulroberts@northwarks.gov.uk](mailto:paulroberts@northwarks.gov.uk)

**PUBLIC CONSULTATION &**  
**COMMUNITY ENGAGEMENT REPORT**

2014/0520

**EASTLANG ROAD, FILLONGLEY, CV7 8EW**

NORTH WARWICKSHIRE  
BOROUGH COUNCIL

RECEIVED  
30-Sep-14

PLANNING & DEVELOPMENT  
DIVISION



**CASSIDY GROUP HAVE UNDERTAKEN TWO PUBLIC CONSULTATION EXERCISES  
WITH LOCAL RESIDENTS FOR THE PROPOSED DEVELOPMENT OF  
LAND AT EASTLANG ROAD FOR RESIDENTIAL USE**

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- 2 Public Consultation 1**
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  - Invite to public consultation & consultation questionnaire
  - Spreadsheet of results
  - Overview of results
- 3 Public Consultation 2**
  - Summary
  - Invite to public consultation
  - Consultation questionnaire
  - Spreadsheet of results
  - Overview of results
- 4 Conclusion**

## **INTRODUCTION**

It is especially important to Cassidy Group that we fully engage with the local community to ensure that any planning proposals are designed to fully integrate with the surroundings and wherever possible meet a specific identified need.

Cassidy Group ensure that community consultation takes place through Parish & Ward Councillors and public consultation events as well as meetings and discussions with planning and housing departments within the council.

For the proposed development of 27 rural homes on land at Eastlang Road, Fillongley, Cassidy Group have presented their proposals to the Fillongley Parish Council and kept the Ward Councillors fully up to date with all proposals including offering to present proposals to them in person. To ensure that the residents of Fillongley are fully aware of our development proposals and for Cassidy Group to provide residents with the opportunity to express their views, Cassidy Group have carried out two separate public consultations on 7<sup>th</sup> & 8<sup>th</sup> May 2014 and 20<sup>th</sup> August 2014. Both public consultation events were held at the Fillongley Social Club on Ousterne Lane between 3pm – 8pm.

In advance of each public consultation event 646 notices were delivered to each household within the Parish of Fillongley as agreed with NWBC.

## **PUBLIC CONSULTATION 1**

### **SUMMARY**

The first public consultation took place over two consecutive days, 7<sup>th</sup> & 8<sup>th</sup> May 2014. Delivery of the invitations commenced on 29<sup>th</sup> April 2014 to 646 households within Fillongley Parish. To further advertise the event notices were placed around the village, on telegraph poles, notice boards and public places such as the village hall, doctors surgery, shop and public house.

The consultation form included an aerial photo of the existing site, an overview of the development proposal including architect drawings and example visuals of proposed housing. A questionnaire was included which invited residents to provide their views on the location and suitability of the site for a housing development to meet the specific housing needs of the Parish of Fillongley. It was made clear that the site layout drawing was an example for discussion purposes only, and that any development would only be based on the results of a housing needs survey which would be verified by NWBC's Housing Strategy department.

At the consultation event four members of Cassidy Group staff were on hand to answer residents' questions and to fully explain the basis of our development proposals and the need to undertake a further housing needs survey. Residents were invited to complete the housing questionnaire and public consultation questionnaire and return them either to Cassidy Group at the public consultation event, to NWBC using the pre-paid envelope, or via an online survey. In addition Cassidy Group provided the option for residents to contact us to arrange a time for their form to be collected from their home.

There were 90 people who attended the public consultation event. 48 consultation form responses were received. Overall the majority of respondents supported the development of land at Eastlang Road to meet any identified housing need within the parish of Fillongley for affordable & market sale housing including older persons bungalows, starter and family housing.

## **INVITE TO PUBLIC CONSULTATION – 7<sup>th</sup> & 8<sup>th</sup> May 2014**

### **Notice of Public Consultation Event**

**Cassidy Group are proposing to develop land at Eastlang Road to meet the specific local housing requirements within Fillongley**

**(as identified within the Fillongley Housing Needs Survey dated January 2014)**

**Public consultation event to be held at Fillongley Social Club, Ousterne Lane on Weds 7<sup>th</sup> and Thurs 8<sup>th</sup> May 2014 Between 3pm and 8pm**



#### **Introduction**

A Housing Needs Survey was recently completed for Fillongley in January 2014. The survey identified 43 respondents who expressed a housing need, unfortunately these residents did not provide their contact details to enable North Warwickshire Borough Council (NWBC) to fully verify this need. Therefore, Cassidy Group are now undertaking a further survey in the form of a Housing Needs Questionnaire to enable NWBC to more accurately verify this housing need (the Housing Needs Questionnaire accompanies this Public Consultation notice and should be returned to NWBC in the pre-paid envelope provided).

Based on the current Fillongley Housing Needs Survey (January 2014), Cassidy Group have identified land off Eastlang Road as being the most suitable site due to its central location to accommodate some or all of this local housing need.

We would like to invite local residents to a Public Consultation event to be held on Weds 7<sup>th</sup> & Thurs 8<sup>th</sup> May 2014 at the Fillongley Social Club. The Public Consultation will enable Cassidy Group to present potential layouts for the Eastlang Road site and to gain detailed feedback from local residents as to the suitability of the site, their views on the architectural layouts and any further detailed information they can provide with regard to their specific housing need. All information obtained at the consultation event will be provided to NWBC Planning & Housing Strategy departments.

Cassidy Group have identified the Eastlang Road site as being a suitable location to accommodate any identified housing need within Fillongley Village. The Eastlang Road site has good road access, an existing large street frontage, is located within 200m of the Village centre for shops, transport & school, and is also immediately adjacent & has direct access to Church Lane park. Based on its location the Eastlang Road site is therefore ideally suited for a variety of housing including family houses, starter homes, bungalows / sheltered accommodation and affordable housing types & tenures.

As part of Cassidy Group's proposals all properties would only be occupied / purchased by a person from Fillongley Parish with a local connection. For example, a low cost home ownership two bedroom house could be purchased from £115,000, and a two bedroom low cost home ownership bungalow could be purchased from £135,000. If there was a requirement for affordable housing such as shared ownership or affordable rent these would be constructed by Cassidy Group but owned and managed by a Housing Association and sold or rented at rates approved by NWBC Housing Strategy department.

Examples of a two bedroom low cost home ownership house & bungalow are overleaf, if these were affordable rent the architecture would not change.

It is important to Cassidy Group as part of their proposals for the Eastlang Road site to gain as much feedback as possible from local residents. Within this leaflet is a consultation form to obtain residents' views on the suitability of the Eastlang Road site to meet the specific housing needs within Fillongley. We would be pleased to receive your completed consultation form via the options provided overleaf.

At the Public Consultation event to be held on Weds 7<sup>th</sup> & Thurs 8<sup>th</sup> May 2014 at Fillongley Social Club, Cassidy Group staff will be on hand to present our proposals for Eastlang Road and to answer your questions and discuss if applicable your specific housing need. Consultation forms and Housing Needs Questionnaires will be available at the event, all of which will be provided to NWBC Planning and Housing Strategy departments.

**We look forward to seeing you at the Public Consultation event on Wednesday 7<sup>th</sup> or Thursday 8<sup>th</sup> May 2014 between 3pm – 8pm at Fillongley Social Club, Ousterne Lane**

**Examples of low cost two bedroom bungalows**



**Examples of low cost two bedroom houses**

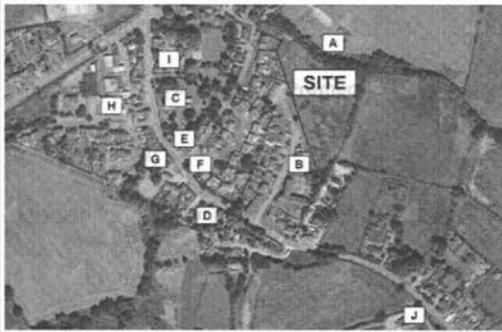


**Benefits of developing Eastlang Road site for rural housing**

- 1 The land at Eastlang Road is located centrally within the village of Fillongley
- 2 The land has access directly onto an existing adopted highway
- 3 The land is next to the community centre and therefore would be an ideal location for older persons bungalows
- 4 The land has direct access to the park which is ideal for young families and walkers
- 5 The land is vacant and unused and would not require the loss of farm land
- 6 The land is infill between existing housing and the village park
- 7 Distances from the Eastlang Road site to local facilities are:

- A) Village Park / Recreation Ground – 10m
- B) Community Centre – 10m
- C) Church – 120m
- D) Village shop – 200m
- E) Post office – 210m
- F) Busstop – 210m
- G) Manor public house – 220m
- H) Fillongley Social Club - 300m
- I) Bournebrook CofE Primary School – 350m
- J) Village Hall – 400m

**Eastlang Road site distances from local facilities**



**Eastlang Road example site layout – for discussion purposes only**



**Site Schedule**

Type	Style	Area	Number
	A	2/3 bedroom bungalow	74m <sup>2</sup> 5
	B	2 bedroom bungalow	57m <sup>2</sup> 5
	C	2 bedroom house	67m <sup>2</sup> 12
	D	3 bedroom house	82m <sup>2</sup> 6
	E	3 bedroom house	90m <sup>2</sup> 6
	F	4 bedroom house	110m <sup>2</sup> 2
	G	4 bedroom house	120m <sup>2</sup> 1
<b>Total</b>			<b>37</b>
<b>Public Open Space</b>		<b>1529.23m<sup>2</sup></b>	

CONSULTATION REGARDING THE SUITABILITY OF THE LAND AT EASTLANG ROAD TO MEET THE RURAL HOUSING NEEDS OF THE PARISH OF FILLONGLEY		Y	N
Please provide your contact details:			
Name:			
Address:			
Tel number:			
Email:			
1	Do you believe the land at Eastlang Road is centrally located within the village of Fillongley?		
2	Does the land at Eastlang Road have good access to the existing road network?		
3	The land is 200m from the village shop, is this close enough?		
4	The land is 260m from Bournebrook CofE Primary School, is this accessible for young families in terms of distance?		
5	Is the land close enough to local bus stops?		
6	Is the land in the right position for older persons housing?		
7	Is the site the right location for family housing?		
8	Does the site have good access to local amenities such as public houses, the village hall, club etc?		
9	The land is immediately adjacent to the village park, is this a benefit?		
10	The example plan overleaf shows a mix of older persons bungalows, starter & family homes. The drawing would be amended to meet the specific needs of local residents based on the results of the accompanying Housing Needs Questionnaire. However, your initial comments on this drawing would be appreciated:		
	a) There are older persons bungalows shown next to the community centre, is this the right location?		
	b) The family homes could have direct access to the village park, is this good for families?		
	c) A public open space has been designed as part of the development, do you think this is a good idea?		
PLEASE USE THE SPACE OVERLEAF TO LEAVE ANY ADDITIONAL COMMENTS			

### Notice of Public Consultation Event April 2014

PLEASE USE THE SPACE BELOW FOR ADDITIONAL COMMENTS

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#### How to return your completed consultation form

The completed questionnaire can be returned by one of the following methods:-

- 1) In person at the Public Consultation Event on **Weds 7<sup>th</sup> / Thurs 8<sup>th</sup> May**
- 2) Return to NWBC using the pre-paid envelope provided
- 3) Complete the online form at [www.cassidygroup.com/eastlangroad](http://www.cassidygroup.com/eastlangroad)
- 4) The consultation form can be collected from your home by **Cassidy Group**, if you require this service please call us on **01676 522330** between 9am and 5pm Mon-Fri
- 5) Alternatively if you wish to speak to **Cassidy Group** regarding your specific housing need and our development proposals for Eastlang Road including potential layouts & house types etc please telephone **01676 522330** between 9am and 5pm Mon-Fri or email us at [enquiries@cassidygroup.com](mailto:enquiries@cassidygroup.com)

**SPREADSHEET OF RESULTS OF PUBLIC CONSULTATION – 7<sup>th</sup> & 8<sup>th</sup> May 2014**

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
1	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
													While the community centre and village park are conveniently located I would have concerns regards vaguerey in these areas at night. Due to the increase in population I would suggest that the council look into providing amore frequent bus service for these less mobile
2	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
3	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
4	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	Y	Y	
5	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
6	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	N	
7	N	N	N	N	N	N	N	N	N	N	Y	N	
8	Y	Y	Y	Y	Y	Y	N	Y	Y	N	Y	Y	
9	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
10	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
11	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
12	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
													Worried about parking if layby goes. Also amount of traffic. Our sons may wish to stay in the village so would be ideal if prices were right. We may require a bungalow in the future.
13	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
													Has the impact of additional family homes on the capacity of bournebrook school been considered? Currently only 19 per year intake and school is over subscribed. Post office closed several years ago. Access to park is not that great a benefit as this is quite rundown - we use the park in Meriden
14	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
15	-	N	-	-	-	-	-	-	-	-	-	-	We do not believe there is any need for this many extra houses in Fillongley. We want to protect our green belt field.
16	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Avery good location that meets everybody's requirement
17	Y	Y	Y	Y	Y	-	Y	Y	Y	-	Y	-	What consideration is being given to the development of the area? Is the school big enough for these additional families? Not enough buses serve the village reducing the potential for elderly residents. Arley have loads. Doctors surgery is a benefit and not listed. The park could do with further investment as well as extending the scout hut. Families move away as there are not enough 3/4 bed smaller houses
18	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
19	Y	N	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	
20	Y	N	N	-	N	-	-	N	Y	-	Y	-	Eastlang Road is not wide enough to take extra traffic. There are no double yellow lines and parking with two wheels on the pavement is illegal
21	Y	Y	Y	Y	Y	Y	-	Y	Y	Y	-	Y	More older people bungalows positioned together. Having more of these would release more homes around the village for families housing needs.
22	Y	N	Y	Y	Y	Y	N	Y	Y	-	-	-	The school is already oversubscribed and can't cope with any more demand. The drainage down Chuch Lane and on the main road needs to be addressed before any housing is built. Also the power supply needs upgrading or accessing from elsewhere as there are already problems with power dropping in the village

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
23	Y	Y	Y	Y	N	Y	Y	Y	Y	Y	Y	Y	We are considering downsizing from detached house to older persons bungalow, either 2 or 3 bedrooms
24	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
25	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
26	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
27	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
28	Y	Y	N	N	Y	Y	Y	Y	Y	N	Y	Y	You have calculated distances to local amenities "as the crow flies" walking them via the path & road network makes them much further away. The local shop is currently for sale and may close down: it is also woefully equipped/stocked especially if elderly people are reliant on it. The community centre you constantly refer to is in fact the local scouts/guides hall so would be of zero benefit to the elderly. All local events take place at the village hall which is a considerable walk if you're old and have reduced mobility.
29	Y	Y	N	N	Y	Y	Y	Y	Y	N	Y	Y	You have calculated distances to local amenities "as the crow flies" walking them via the path & road network makes them much further away. The local shop is currently for sale and may close down: it is also woefully equipped/stocked especially if elderly people are reliant on it. The community centre you constantly refer to is in fact the local scouts/guides hall so would be of zero benefit to the elderly. All local events take place at the village hall which is a considerable walk if you're old and have reduced mobility.

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
30	Y	N	Y	Y	N	Y	Y	Y	Y	Y	Y	Y	Access to development could be a problem off Eastlang Road due to no of vehicles parked on road i.e access for fire and ambulance vehicles.
31	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
32	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
33	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	If we are expected to have new homes built in Fillongley, this is the best location for it. It is central to the village amenities, but does not intrude on the very attractive and historic centre of the village.
34	N	Y	Y	Y	Y	N	N	Y	Y	N	N	N	The scheme encroaches on green belt. The scheme (if implemented) would put pressure on amenities in the village (village hall etc). Housing density is high. Need for additional housing not made. There is already a council estate in the village to meet the needs of social housing. Further social housing would affect housing demographic of the village. Transport infrastructure allows easy commute from urban locations nearby - undermining need to build 37 houses in the village.
35	Y	Y	Y	Y	N	N	N	Y	N	Y	N	Y	I doubt if the village shop will be used a lot. Buses are so few and far between, most people would need cars. The 2 two bedroom bungalows are quite a walk from the doctors, also there is no bus from the village to the Bennetts Road surgery.
36	N	N	N	N	N	N	N	N	N	N	N	N	We do not want development in our village

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
37	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	The proximity of the Doctors Surgery would be an advantage to older people, although this involves crossing the main road, because of the lack of pavement on the left hand side from Eastlang Road. Will access to Church Lane be made without steps? No longer a Post Office in Fillongley
38	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
39	Y	N	N	N	N	Y	N	N	N	Y	N	N	
40	N	N	N	N	N	N	N	N	N	N	N	N	This development is too large and will alter the make up of the village. Eastlang Road is not big enough to cope with the amount of traffic will generate. 43 respondents may state they have a housing need, but as no application have been made, their actual situation has not been assessed.
41	N	N	N	N	N	N	N	N	N	N	N	N	Major concern re flooding: Church Lane has a history of flooding, surface water and sewerage due to outdated drainage systems, removing a large area of land drainage and feeding even more into existing drains is a cause of concern. Estate needs to be a mix of open market, low ownership, not just social housing and rented. 40 properties including 3 in Castle Close, 26% increase in original core strategy - can infrastructure, school, doctors cope. On a personal note - losing rear access had for 22 years.

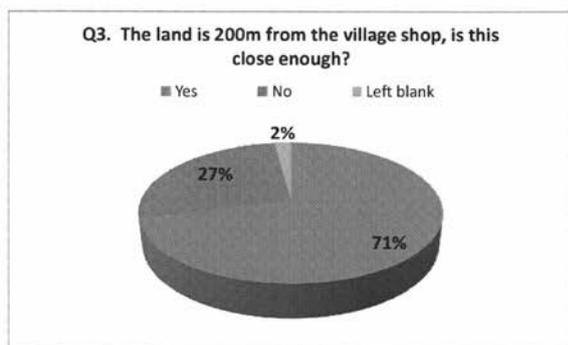
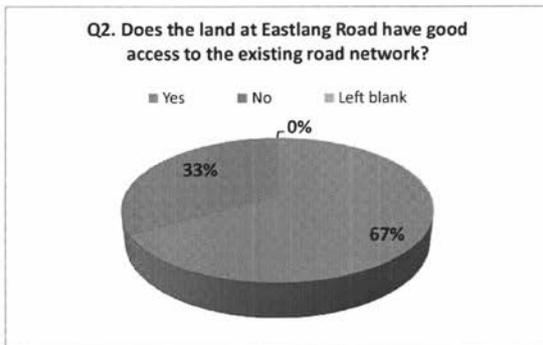
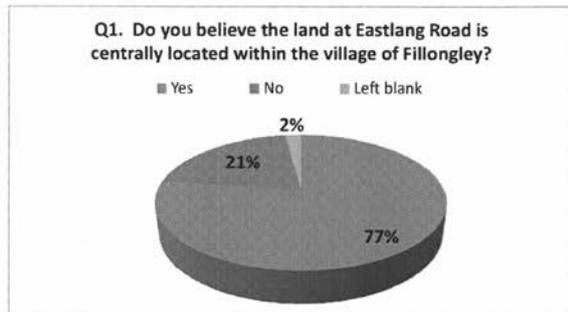
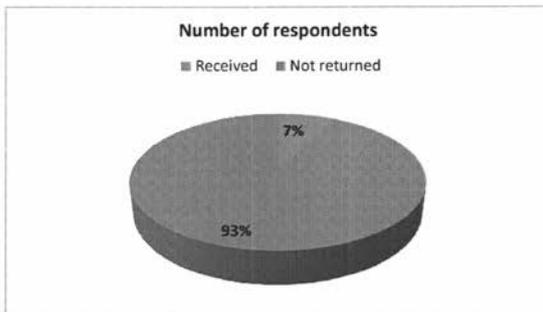
	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
42	N	N	N	N	N	N	N	N	N	N	N	N	1. Very weighted question 3. Which is being sold, so no guarantee it will exist in the future 10. The photographs are not representative of the final designs - the developers themselves admitted these related to those being constructed at Corley - How very misleading
43	N	N	N	N	N	N	N	N	N	N	N	N	This site is not applicable because it is green belt and if this is granted, it will be a gateway to other people to do the same. There are brown field sites before greenbelt in the village
44	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Although I think the location is a good one for this development it does infringe on green belt land. Are there no other sites that are brownbelt that would be suitable?
45	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	We consider 37 properties would be too many and doubt the need for so many if proposal requires development to be only for social housing. Suggest 20 properties. No Post Office exists or Community Centre. This development will require additional places at the Schoolland possibly changes to village sewerage system. No vehicle access to Church Lane as very dangerous corner. Have footpath access

	1	2	3	4	5	6	7	8	9	10A	10B	10C	
Ref	Centrally located?	Good access to roads?	Close to Village shop?	Access to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Right location of bungalows next to community centre?	Is it good for families to have direct access to park?	Public open space good idea?	Comments
46	N	N	N	N	N	N	N	N	N	N	N	N	All of these questions are leading and an insult to the intelligence of people in Fillongley. The questions on the inner back page are shockingly leading and insulting! Do the Cassidy Group think that the people of Fillongley are all stupid and lacking in intelligence. Regarding Question 4 - the school is fully subscribed so this question is even more irrelevant than all the rest. I'd also like to know why this questionnaire bears the logo of NWBC. Do they support the cassidy group in this proposal?
47	N	N	N	N	N	N	N	N	N	N	N	N	If these houses go ahead, I hope you will consider the people in the bungalows with where you will put the entrance and teh exit of this road. I would definitely not like it facing my bungalow. No 35 the last bungalow.
48	N	N	N	N	N	N	N	N	N	N	N	N	The site is greenfield in the greenbelt and as such should be protected. The questions are leading and inappropriate. As it is going back to NWBC, does this not show support by NWBC.

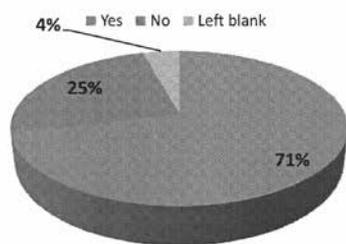
Y	37	32	34	34	32	34	30	36	36	31	34	32
N	10	16	13	12	15	11	15	11	11	13	11	12
-	1	0	1	2	1	3	3	1	1	4	3	4
Tot	48	48	48	48	48	48	48	48	48	48	48	48

% Y	77%	67%	71%	71%	67%	71%	63%	75%	75%	65%	71%	67%
% N	21%	33%	27%	25%	31%	23%	31%	23%	23%	27%	23%	25%
% -	2%	0%	2%	4%	2%	6%	6%	2%	2%	8%	6%	8%

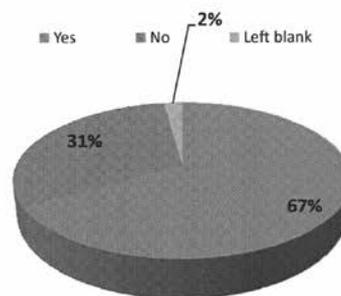
## RESULTS OVERVIEW OF PUBLIC CONSULTATION – 7<sup>th</sup> & 8<sup>th</sup> May 2014



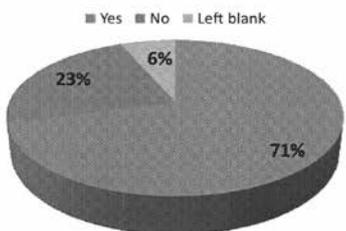
**Q4. The land is 260m from Bournebrook CofE Primary School, is this accessible for young families in terms of distance?**



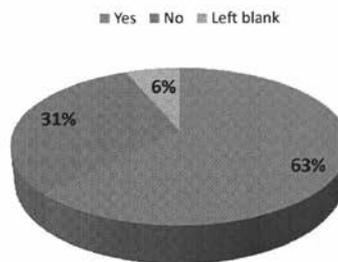
**Q5. Is the land close enough to local bus stops?**



**Q6. Is the land in the right position for older persons housing?**

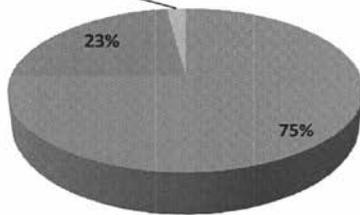


**Q7. Is the site the right location for family housing?**



**Q8. Does the site have good access to local amenities such as public houses, the village hall, club etc?**

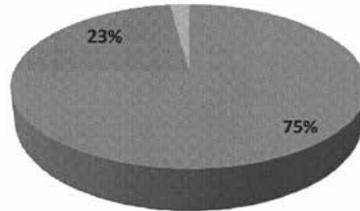
2% ■ Yes ■ No ■ Left blank



**Q9. The land is immediately adjacent to the village park, is this a benefit?**

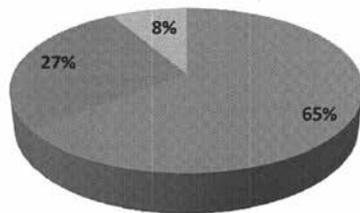
■ Yes ■ No ■ Left blank

2%



**Q10 a. There are older persons bungalows shown next to the community centre, is this the right location?**

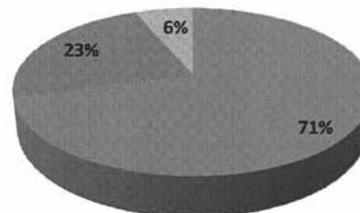
■ Yes ■ No ■ Left blank



**Q10 b. The family homes could have direct access to the village park, is this good for families?**

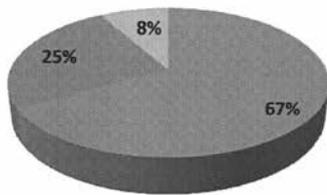
■ Yes ■ No ■ Left blank

6%



**Q10 c. A public open space has been designed as part of the development, do you think this is a good idea?**

■ Yes ■ No ■ Left blank



## **PUBLIC CONSULTATION 2**

### **SUMMARY**

The second public consultation took place on 20<sup>th</sup> August 2014 at the Fillongley Social Club, Ousterne Lane between 3pm – 8pm. Delivery of 646 public consultation invites commenced on 13<sup>th</sup> August, 324 invitations were hand delivered and the remaining 322 were posted 1<sup>st</sup> class.

The notice of public consultation included within it a detailed explanation of why a second public consultation was being held. It clearly stated that following the recent housing needs survey NWBC had now released an updated housing needs survey in the form of the Fillongley housing needs survey June 2014. The results were independently verified by NWBC Housing Strategy & Development Officer, Mr Paul Roberts. The notice further stated that Cassidy Group were proposing to develop the land at Eastlang Road to meet the specific identified need for a total of 27 homes being 21 affordable (78%) and 6 market sale (22%), being a mixture of bungalows, starter and family housing.

A public consultation questionnaire and details of the proposals were available online for electronic submission, details of which were clearly provided within the notice, these were also available at the public consultation event itself. At the event Cassidy Group staff were on hand to present the development proposals for 27 rural homes. To support this plans & visuals of the proposal along with supporting reports from Highways and Environmental agencies were available.

There were 29 attendees at the public consultation event. 12 consultation forms were received.

The majority of respondents were in support of the proposed development.

## **INVITE TO PUBLIC CONSULTATION – 20<sup>th</sup> August 2014**

### **Notice of Public Consultation Event**

Cassidy Group are proposing to develop land at Eastlang Road to meet the specific local housing requirements within **Fillongley**

(as identified within the Fillongley Housing Needs Survey dated July 2014)

Public consultation event to be held at Fillongley Social Club, Ousterne Lane on **Wednesday 20<sup>th</sup> August 2014** Between 3pm and 8pm



A Housing Needs Survey was completed for Fillongley in January 2014 and unfortunately the results of this survey could not be verified by North Warwickshire Borough Council due to 43 respondents who expressed a housing need but did not provide their contact details.

In conjunction with NWBC, Cassidy Group undertook a further survey in April 2014 in the form of a Housing Needs Questionnaire to enable NWBC to more accurately verify this housing need. The results of this housing needs survey can be found at [www.northwarks.gov.uk](http://www.northwarks.gov.uk) and by typing 'housing needs survey' into the search engine.

Cassidy Group have identified land off Eastlang Road as being the most suitable site due to its central location to accommodate this identified local housing need.

Prior to the submission of a detailed planning application we would welcome local residents views on our proposals. Therefore, we invite you to attend a Public Consultation event to be held on Wednesday 20<sup>th</sup> August 2014 at the Fillongley Social Club. At the event representatives of Cassidy Group will be available to present our proposals and answer any queries you may have.

Consultation forms will be available at the event and online from 20<sup>th</sup> August at [www.eastlangpublicconsultation.co.uk](http://www.eastlangpublicconsultation.co.uk)

**We look forward to seeing you at the Public Consultation event on Wednesday 20<sup>th</sup> August 2014 between 3pm – 8pm at Fillongley Social Club, Ousterne Lane**



Cassidy Group  
The Barns  
Whitestitch Lane  
Meriden  
Warwickshire  
CV7 7JE

Tel: 01676 522330  
Email: [enquiries@cassidygroup.com](mailto:enquiries@cassidygroup.com)  
Web: [www.cassidygroup.com](http://www.cassidygroup.com)





**PROPOSED SITE LAYOUT AVAILABLE AT PUBLIC CONSULTATION & ONLINE**

**Proposed Housing Layout For Eastlang Road**

To meet the specific identified housing need within the Fillongley Parish as identified within the Fillongley Housing Needs Survey June 2014



Type	Count	Area	Number
<b>Existing Sites (ES)</b>			
A	2 bed/room bungalow	85m <sup>2</sup>	2
B	2 bed/room bungalow	57m <sup>2</sup>	4
<b>Proposed</b>			
<b>Low Cost Home Ownership (LCHO)</b>			
H	3 bed/room bungalow	87m <sup>2</sup>	5
I	3 bed/room house	87m <sup>2</sup>	4
J	3 bed/room house	82m <sup>2</sup>	3
K	4 bed/room house	108m <sup>2</sup>	3
<b>Residential</b>			
<b>Additional Land (AL)</b>			
L	2 bed/room bungalow	87m <sup>2</sup>	2
M	2 bed/room house	87m <sup>2</sup>	1
N	3 bed/room bungalow	75m <sup>2</sup>	1
<b>Residential</b>			
<b>Total Proposed Sites</b>			
<b>Total Additional Land (AL)</b>			
<b>Public Open Space</b>			



**SPREADSHEET OF RESULTS OF PUBLIC CONSULTATION – 20<sup>th</sup> August 2014**

	1	2	3	4	5	6	7	8	9	10	11	12	13	
No	Build homes to meet needs?	Support older persons bungalows?	Support LCHO?	Support public open spaces?	Centrally located?	Good access to roads?	Close to Village shop?	Accessible to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Comments
1	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
2	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Daughter is interested
3	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
4	Y	N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	It is a great location for new properties as a potential first time buyer. As living in the village already it is a great benefit for myself
5	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	There is definitely a requirement for older people to downsize (i.e. Bungalows) and thus to free up larger properties for families in the village, no suitable properties are currently available
6	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Affordable housing in Fillongley is a must due to the unavailability and unsuitability of the current properties in the area for young / first time buyers. If this plot is set to be apposed then the Council need to urgently suggest / locate a suitable plot in which the current need can be addressed, thus forcing local businesses to relocate and taking their skills with them. Many people say Fillonley is a village, for it to remain a village they must understand that a village relies heavily on local recommended tradesmen and skilled workers. It is essential that they can afford to live where / near their work.

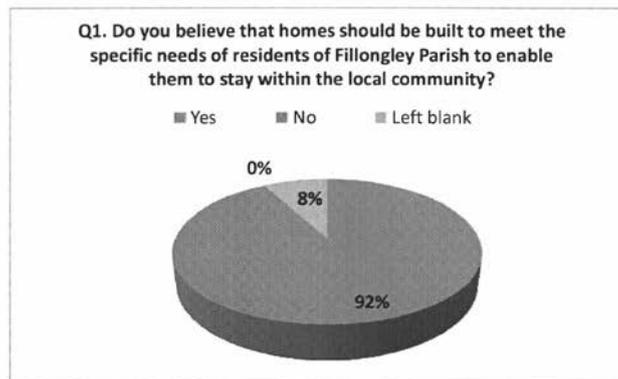
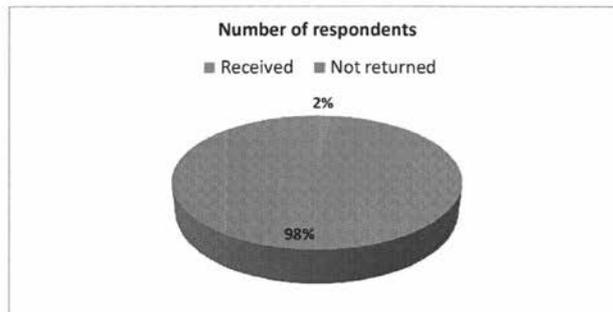
	1	2	3	4	5	6	7	8	9	10	11	12	13	
No	Build homes to meet needs?	Support older persons bungalows?	Support LCHO?	Support public open spaces?	Centrally located?	Good access to roads?	Close to Village shop?	Accessible to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Comments
														Also for a village / community to thrive in the future there needs to be a younger generation to carry on the village environment / sense of community and economy
														Difficulties with traffic volume in Eastlang Road. No room in school so not relevant. No need to build on green belt when brownfield is available. School has no capacity. Flooding run off to homes at the end of Eastlang Road
7	Y	-	-	-	-	N	-	N	-	-	-	-	-	
8	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	
9	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Please allow this proposal to go through. There is a vital need for this mix of starter homes plus bungalows for the elderly
10	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Having affordable house in a rural area but close to a city is good. A garage would be good but not essential. How much will they cost outright?
11	Y	Y	Y	N	Y	N	Y	Y	Y	N	N	Y	N	I was unaware that there were 3 plots identified. Only aware of the plot in Eastlang Road. Do not think the road is suitable to cope with the extra traffic. My parents home is directly opposite the planned entrance to the site which would cause my parents difficulty in parking - my mum has a blue badge and unable to walk far. The school cannot be extended to accommodate extra children. The entrance to Eastlang Road is difficult to enter and exit and will be more of a hazard with the extra traffic and works traffic.

	1	2	3	4	5	6	7	8	9	10	11	12	13	
No	Build homes to meet needs?	Support older persons bungalows?	Support LCHO?	Support public open spaces?	Centrally located?	Good access to roads?	Close to Village shop?	Accessible to school?	Close to bus stop?	Right position for older person housing	Right location for family housing?	Good access to amenities?	Adjacent to park benefit?	Comments
11	Y	Y	Y	N	Y	N	Y	Y	Y	N	N	Y	N	I agree we need extra housing for people from the village. There are no 1 bedroom properties. People who have requested the properties that are planned, have there own privately owned properties so will move into the cheaper properties and sell their more expensive properties that young people/families cannot afford.
12	-	-	-	N	-	-	-	-	-	-	-	-	-	Re proposed green space at the side of hilltop and back little london cottage. We are concerned that due to the 'tucked away' location of this space it will be used for a gathering / meeting area for children & youths - potentially leading to anti social behaviour such as noise, litter (like the entrance to the footpath by Caves shop used in this way) and graffiti (like the scout hut & changing rooms in the park) also the suggested footpath along here looks to lead directly onto the road at the concealed bend where there have been many near misses between cars & cars & pedestrians.

Y	11	9	10	9	10	9	10	10	10	9	9	10	9
N	0	1	0	2	0	2	0	1	0	1	1	0	1
-	1	2	2	1	2	1	2	1	2	2	2	2	2
Tot	12	12	12	12	12	12	12	12	12	12	12	12	12

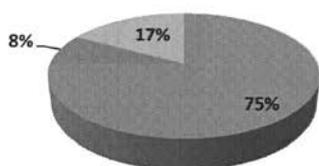
% Y	92%	75%	83%	75%	83%	75%	83%	84%	83%	75%	75%	83%	75%
% N	0%	8%	0%	17%	0%	17%	0%	8%	0%	8%	8%	0%	8%
% -	8%	17%	17%	8%	17%	8%	17%	8%	17%	17%	17%	17%	17%

**RESULTS OVERVIEW OF PUBLIC CONSULTATION – 20<sup>th</sup> August 2014**



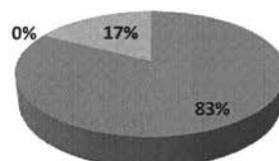
**Q2. Do you support the development of older persons bungalows for residents within Fillongley Parish?**

■ Yes ■ No ■ Left blank



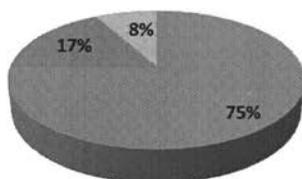
**Q3. Do you support the development of low cost home ownership properties which especially helps younger residents to purchase a property within the village?**

■ Yes ■ No ■ Left blank



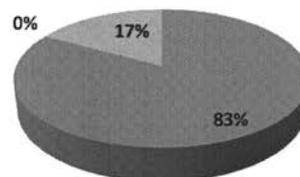
**Q4. Three public open spaces have been designed as part of our proposal, do you support these?**

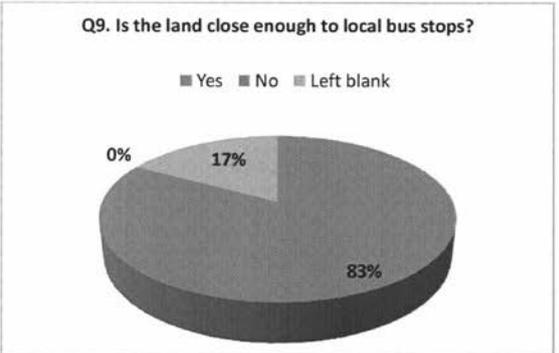
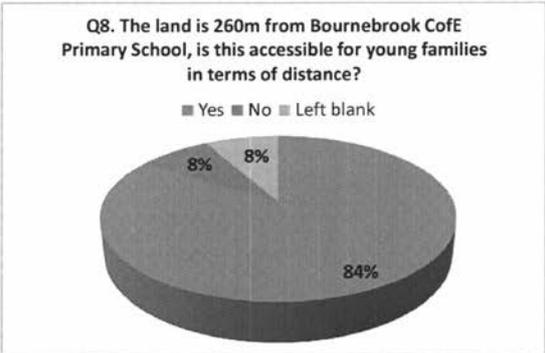
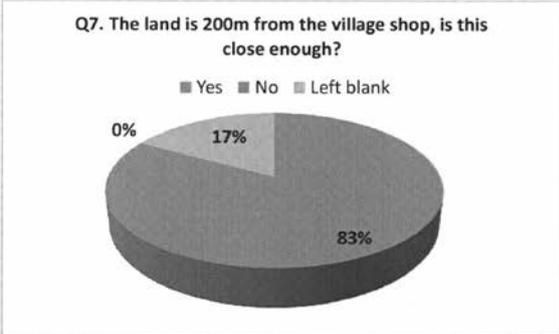
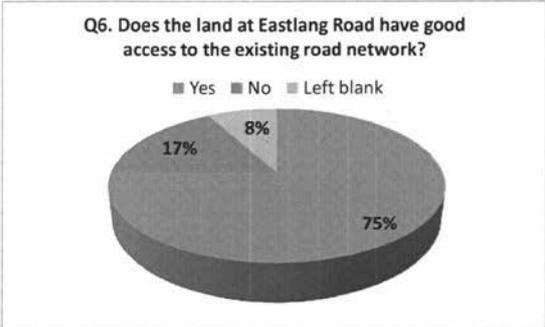
■ Yes ■ No ■ Left blank

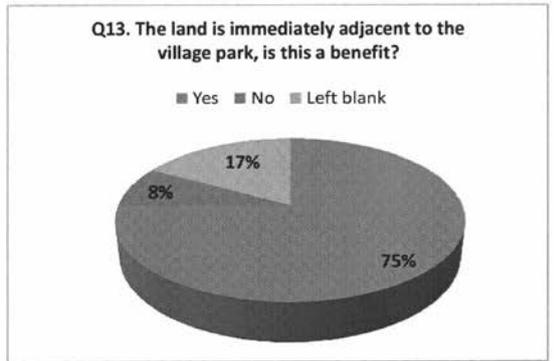
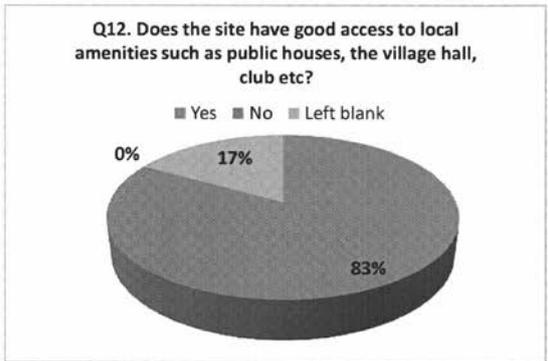
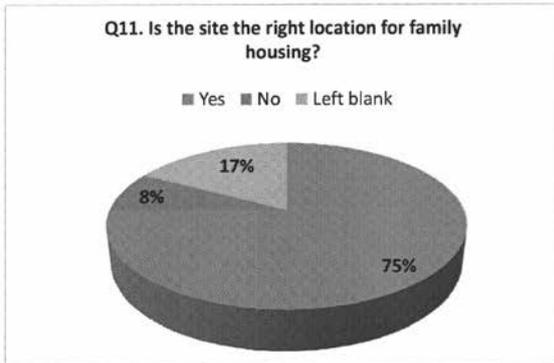
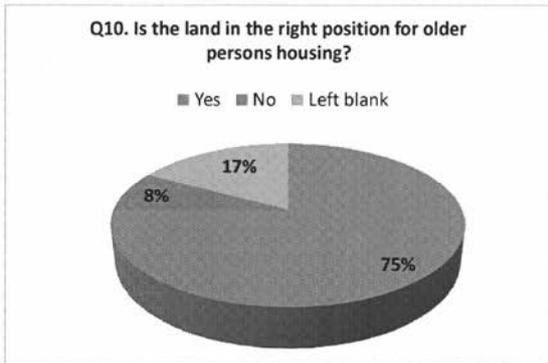


**Q5. Do you believe the land at Eastlang Road is centrally located within the village of Fillongley?**

■ Yes ■ No ■ Left blank







## **CONCLUSION**

The proposed development of 27 rural homes on land at Eastlang Road has been designed specifically to meet the identified housing need of the Parish of Fillongley based on the Fillongley housing needs survey June 2014. As part of a planning application to develop the 27 homes Cassidy Group has conducted a comprehensive public engagement programme including presentations to the Parish Council, the carrying out of the Fillongley housing needs survey June 2014 in conjunction with NWBC Housing Strategy Team, and the carrying out of 2 public consultation events.

Detailed comments received through the two public consultation events have influenced the design proposals and as such the proposed development meets the housing needs of Fillongley, especially affordable and is supported by the majority of respondents at the public consultation events.

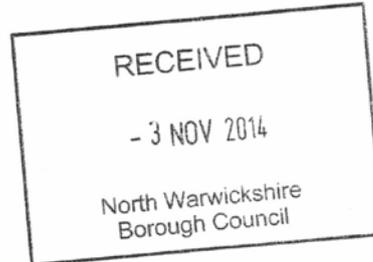
## FILLONGLEY PARISH COUNCIL



Clerk to the Council: Mrs Heather Badham, The Crooked Stile, St Mary's Road,  
Fillongley, Warwickshire, CV7 8EY

Telephone 01676 549193 fillongleypc@indigoriver.co.uk

Mr J Brown  
Planning Dept  
NWBC  
By email



3<sup>rd</sup> November 2014

Dear Jeff

Ref; PAP/2014/0520

As you are aware this land has been the subject of much discussion in Fillongley in recent months. This application was recently discussed fully by Fillongley Parish Council.

The Planning Board may or may not be aware of the legality or procedures that form part of this application (I refer to the "Public Consultation Event" and "Housing Need Questionnaire").

Whilst it may not be considered by some to be a planning matter, the **legality** of documents which allegedly identify a "Need" and argue "very special circumstances" to warrant building on the Green Belt, and are by their nature, the basis of the application, should, in the opinion of the Parish Council, be drawn to the attention of the Planning Board.

The first points to make are with regard to the Housing Needs Survey as noted in the Officers Report. It is wholly inaccurate to state that 648 questionnaires were delivered, when the Council know for a fact that some houses did not receive one and some received many. Also, these were freely available at the Public Consultation Event and Parishioners were encouraged to take more. From this we can deduce that whilst some may have been returned, it is impossible to calculate a percentage figure as there is no way of knowing how many were distributed. The Officers Report does not state how many responses were in favour of the proposal. If the report is looked at in more detail, you will see that 24 responses have particularly commented directly against the proposal. Some are for new housing in general but don't have a Need and a few state a preference for down-sizing or first time purchase.

One point from a response made by a resident is "Can you reassure the community that all the existing properties in Eastlang Road are let?" This leads to the next point. The Parish Council understand that there are currently 4 empty flats and also one tenant of a house has just given Notice to leave. This would indicate NO housing need whatsoever.

With regard to the Public Consultation, as this was only notified, in conjunction with the Housing Needs Survey, it should be noted that if residents did not receive the survey, then they were also unaware of the "Consultation Event".

The Council are aware of a number of residents who have said that they dismissed the whole literature as "ridiculous" and "a hoax" as they were disbelieving of the NWBC logo appearing on a document appearing to support building on the Green Belt.

With regard to the actual proposed application, the Transport Assessment and Officers Report state that there will be additional pedestrian access on to Church Lane. It should be noted by Board Members that this access point comes out not only onto a blind bend, but where there is no footpath either side, and nowhere that one can be created. It will inevitably cause accidents.

As previously stated in emails (cc'd to the NWBC Solicitor Mr Steve Maxey), FPC understand that Severn Trent are not legally able to object to a planning application. We are furthermore aware of recent modelling (report not yet available) of rainfall/existing flooding issues within the village. We are all aware that, as with many large organisations, the department responding to the enquiry regarding this application may not be aware that there is a separate department looking into this very issue. "Flood Risk Assessment" notwithstanding, it is the experience of local people that flash flooding, in particular, occurs, and any building on this Green Belt land is likely to have a detrimental effect further downstream within Parishioners homes. Do these homes have to be sacrificed, and the owners of these homes left unable to insure them because of a desire to build on Green Belt land?

Whilst the Officers Report states that a PRE-APPLICATION discussion with the Highways Authority said they would have no objection this is not the same as a submitted "No Objection". It is also contrary to the experience of local people, who, without exception have queried how this proposal can be considered when the road is already congested at almost all times of day.

The Officers report also states that "to the South are the Fillongley Community Centre". Board Members may recall a few years ago when the large room was altered to a much smaller room which can be filled by approximately 12 people. It would be inappropriate to put this forward as a positive facility that can be enjoyed by any increased numbers than already use it.

Fillongley Parish Council have directly received numerous written and verbal comment regarding the proposal, with only one being in support of the principal of building on this land. **The Council strongly OBJECT to the application and would encourage the Board to REFUSE the application outright.**

Yours sincerely

*H Badham*

Mrs Heather Badham  
Clerk to Fillongley Parish Council

# FILLONGLEY PARISH COUNCIL



Clerk to the Council: Mrs Heather Badham, The Crooked Stile, St Mary's Road,  
Fillongley, Warwickshire, CV7 8EY

Telephone 01676 549193 fillongleypc@indigoriver.co.uk

Mr J Brown  
Planning Dept  
NWBC  
By email

4<sup>th</sup> December 2014

Dear Jeff

Ref, PAP/2014/0520

This application was again discussed at length by Fillongley Parish Council.

The Parish Council have instructed me to write once again. This letter is in **addition** to the previous objection to the original application, which the Council still wishes to apply to this revised application.

Firstly, there is an allocation in the Core Strategy of 30 houses in Fillongley Parish over the next 20 years, of which some are on sites already allocated in the draft Site Allocations Plan.

It is worth noting the following; out of the 30 that we are required to site, there have already been properties built on

1. Land adjacent to Brock Hall, Shawbury Lane (1)
2. Village Farm, Coventry Road (1)
3. Garage site, Eastlang Road (4)
4. Metlins Barns, Shawbury Lane (1)
5. 62 Eastlang Road (conversion of part of community centre) (1)
6. 7 Shawbury Cottages (nett 1 additional house)
7. Fillongley Mount (nett 1 additional property)

With further permission for properties at;

8. Birchley Hall Farm, Windmill Lane (Barn conversion – 1)
9. Land adjacent to Hickstead, Windmill Lane (1)
10. Castle Close (3)

This brings the total built and permitted to 15. The Draft Site Allocations plan has also highlighted another site (which would be brownfield) for 8 properties. This only leaves a requirement by yourselves (NWBC) for 7 houses. With the change in

planning policy, the Parish Council believe that it is quite conceivable for these to be found within permitted rights for barn conversions or other brown field sites in our rural Parish. There is no need to build on green fields within the Green Belt.

The Parish Council have previously pointed out the disgraceful way in which the Borough Council has been manipulated in the form of a "Housing Needs Survey". The previous unbiased Housing Needs Survey that was completed by NWBC in conjunction with FPC to run within our Neighbourhood Plan and your Core Strategy did not show a need as large as the allocation, but allegedly, so it was said by this Developer, could not be validated as contact details were not always be provided. The report that was commissioned by Cassidys, and distributed in a haphazard manner (as previously documented), does not appear to have this information either. Were the respondents who stated that they couldn't afford a suitable property in the area first time buyers or in NEED of a home? There is no way of telling. The questionnaire is flawed in every area and should be discarded with no weight.

A Parishioner at our last meeting was concerned that his letter of Objection to the proposals did not appear anywhere on record. This led to concerns that the total number of Objections to the proposal are not being correctly recorded.

The Parish Council, would also point out, that NWBC have recently adopted within the new Core Strategy a policy of not building on Green Belt land. To permit this development would directly contravene your own newly re-adopted Policy.

**The Council strongly OBJECT to the application and would encourage the Board to REFUSE the application outright.**

Yours sincerely

*H Badham*

Mrs Heather Badham  
Clerk to Fillongley Parish Council